TOWN OF MOUNTAIN VILLAGE SPECIAL DESIGN REVIEW BOARD MEETING AGENDA

THURSDAY DECEMBER 17, 2020 11:30 AM MOUNTAIN VILLAGE TOWN HALL

455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO

TO BE HELD https://us02web.zoom.us/j/87942274914?pwd=L2ZPajYrSU5mT0xSZFlhQ3RuWldzdz09

Isee	login	details	below)
1366	IUSIII	actans	DCIOW,

	Time	Min.	Presenter	Туре	
1.	11:30	5	Chair		Call to Order
2.	11:35	60	Miller Applicant	Work Session	Discussion regarding a Conceptual work session for Lot 165-6, 160 Cortina Drive, to develop a new Single-Family Common Interest residence, pursuant to CDC sections 17.4.6, 17.4.11, and 17.4.16.
3.	12:35		Chair		Adjourn

Topic: December 17, 2020 Special DRB Meeting Time: Dec 17, 2020 11:30 AM Mountain Time (US and Canada)

Join Zoom Meeting https://us02web.zoom.us/j/87942274914?pwd=L2ZPajYrSU5mT0xSZFlhQ3RuWldzdz09

Dial by your location +1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston) +1 669 900 9128 US (San Jose) +1 301 715 8592 US (Washington D.C) +1 312 626 6799 US (Chicago) +1 646 558 8656 US (New York)

Meeting ID: 879 4227 4914 Passcode: 133277

Find your local number: https://us02web.zoom.us/u/kGNERcPBQ

Consistent with Resolution No. 2020-0514-10 regarding virtual (electronic) meetings, written testimony shall be submitted to cd@mtnvillage.org and must be received no later than 48 hours prior to the public hearing. Oral testimony, for those wishing to testify, must register by sending an email to cd@mtnvillage.org at least one hour prior to the agendized hearing.



AGENDA ITEM 2 PLANNING & DEVELOPMENT SERVICE PLANNING DIVISON

455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Senior Planner

FOR: Meeting of December 17, 2020

DATE: December 10, 2020

RE: Discussion regarding a Conceptual work session for Lot 165-6, 160 Cortina

Drive, to develop a new Single-Family Common Interest residence and consideration of a Variance to the CDC height provisions, pursuant to CDC

sections 17.4.6 and 17.4.11, and 17.4.6.

Work Session Overview

PROJECT GEOGRAPHY

Legal Description: UNIT 6 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF

THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004

AT REC NUM 370697

Address: 160 Cortina Drive

Applicant/Agent: Jamie Daugaard, Centre Sky Architecture **Owner:** Silver Glade Development Company

Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Multi-Family

Lot Size: 0.27 Acres

Adjacent Land Uses:

North: Multi-Family
 South: Multi-Family
 East: Multi-Family
 West: Multi-Family

ATTACHMENTS

Exhibit A: ApplicationExhibit B: Plan Set



Figure 1: Vicinity Map

Case Summary:

Jamie Daugaard of Centre Sky Architecture (Applicant), working on behalf of the Silver Glade Development Company (Owner), has requested a work session with the Design Review Board to discuss a proposed new Single-Family Detached Condominium to be located at Lot 165-6, 160 Cortina Drive. The applicant has provided a conceptual architectural plan for the project and as part of the proposal is requesting a variance to the CDC provisions for Maximum Building Heights and Maximum Average Building Height. The purpose of the work session is to allow the applicant and DRB to have an informal, non-binding review and discussion about the project, potential issues, and possible solutions. Staff has conducted a cursory review of the project in relation to the intent and standards of the Design Regulations of the CDC.

History and Existing Conditions: Lot 165-6 is located within the Cortina Land Condominiums (Cortina) along San Joaquin Road between the existing Cassidy Ridge and Winterleaf developments. When approved, a total of 22 Condominium Units and 3 Parcels (A, B and C) originally designated as a General Common Element of the land condos were approved by the Town. Subsequent to the creation of the common interest community, Units 18 and 19 were replatted into Unit 18R to allow for the development of a Multi-family project on Units 17, 18R, 20, and Parcel A (later identified as Unit 23). The remainder of the Lots within Cortina are designated for single-family detached homes. A large number of the Units within Cortina face topographical issues such as steep forested slopes with difficult access.

Unit 6 is entirely forested with approximately 95% of the unit over 30% slope. The proposed project consists of a 7,353 gross / 6,326 habitable square foot single-family detached condominium. Units 5 and 6 were originally accessed by a driveway easement established when Cortina was created. This easement was later modified and expanded to allow additional access for Units 7 and 8. Due to the steepness of the lot, the applicant is requesting a height variance to be discussed in more detail below. Additionally, it appears there may be design variations proposed and discussed below in which the DRB should provide comment.

Design Review:

This design review portion of the work session serves to discuss the proposal for Lot 165-6. The applicant has provided an initial design concept within the project narrative related to things such as site context and constraints, specific building designs, massing, and parking. As briefly discussed above, there are geographical constraints, namely the steepness of the lot with approximately 90% of the total area of Unit 6 over 30% grade. The applicants have indicated that the steepness of the site has driven the design of the home and has necessitated a variance to the CDC maximum and average building height provisions.

The steepness of the Unit is evident in the proposed design. From certain perspectives, the home appears to be perched on a hillside while from others it appears as a one-story home. The design theme of the home appears to fit well with existing homes within Cortina as well as with the contemporary Mountain Modern style of wood siding, metal accents, and the prominent use of stone. Generally speaking, the Mountain Village has seen an increased number of new homes requesting shed roof forms given the contemporary architectural trends, but it should be noted that the use of shed roof forms in the Mountain Village results a maximum height allowance that is 5 feet less than a home with a gabled

roof form. This decision has resulted in an increased variance request than what would have otherwise been proposed with a gabled roof design.

A prominent feature of the home is the cantilevered portion of the living space located along the eastern and northern façade. The DRB has discussed cantilevered design in the past and has had difficulty determining that these portions of the home are sufficiently grounded. This is not to say that this home does not appear to be grounded but simply a note as a point of discussion for the DRB to provide guidance to the applicant. In the case of this proposal, it appears that the applicants are proposing substantial stone-faced columns in addition to piers. The use of the columns appears to staff to make these piers seem much more grounded than they otherwise would in their absence.

Although Cortina is not subject to a General Easement, Unit 6 is subject to a 16-foot setback surrounding its perimeter, along with driveway and pedestrian/skier easements. It should be noted that there are some minor structural encroachments into these setbacks that appear to be related to the foundation and retaining walls associated with the home. The DRB will need to provide guidance on these setback encroachments and their appropriateness as the CDC will ultimately require these encroachments to receive specific approval during the design review process.

Because of the driveway easement, setbacks, and the steepness of the Unit, the applicant is proposing a design variation to the parking area design standards listed in Section 17.5.8(C). The appropriateness of this will need to be discussed in detail by the DRB.

Variance Request:

For the reasons listed above, the applicant has requested a Variance to both the Maximum Building Height requirements and the Average Building Height requirements. As proposed within the provided plans, the applicant is requesting a 21'-4" variance to the Maximum Building Height, and a 2'-10" variance to the Maximum Average Building Height. While staff does believe a variance request for Unit 6 may be appropriate, there are concerns that a 21+ foot variance is an excessive request. For example, the most recent approved variance for a SFCI home was approximately 8 feet, and the board has never reviewed a request of this magnitude in the past.

It will be very important to give clear guidance to the applicant regarding this request as the current design of the home cannot be accomplished without this request being ultimately recommended by DRB and approved by Town Council. The CDC provides criteria for approval of a Variance within the CDC which has been addressed and provided by the applicant as part of this packet. The DRB will need to determine if they agree that these criteria have been met in their entirety in order to recommend approval of a variance to Town Council.

It will be important for the DRB to determine that the scale and mass of the development as proposed, including the Variance Request as well as the Setback encroachments, and parking design variations would be appropriate as shown in these work session materials.

Additional Information:

Due to the unique access, Staff recommended that the applicant begin discussions early with the Fire Department to determine if the access to the home is adequate. As of this time, it has been conveyed to staff that the applicant has been able to satisfy the Fire Department criteria for approval. Additionally, there are several multi-family units located

within Cassidy Ridge directly below this proposed development. Staff advises the applicant to begin discussions with neighbors to ensure that the proposed development of Lots 6 and 7 is as smooth as possible.

RECOMMENDATION

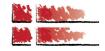
A conceptual work session is a process that allows for the DRB to provide an informal, non-binding review of a conceptual development proposal. The DRB shall evaluate a proposed concept based on the applicable criteria for decision in the future. Any comments or general direction given by the DRB shall not be considered binding or represent any warranties or guarantees of approval of any kind. No formal action is taken by the DRB on conceptual work sessions.

Staff recommends the DRB review and evaluate the proposed concept plans based on the applicable criteria for decision for the future development application and provide non-binding feedback and direction to the applicant regarding the design and proposed density.

/JJM



10125 RANCHO MONTECITO DRIVE PARKER COLORADO 80138 303.840.0020 303.840.2299 F



11 LONE PEAK DR #206; BOX 161488 BIG SKY MONTANA 59716 406.995.7572 406.995.7477 F

T6 Project Narrative:

Located in Mountain Village, Unit 6 is a down sloping site off of Cortina Drive. The lot is heavily covered with fir, spruce and aspen trees. Unit 6 has great eastern sun exposure. It also has views of Mountain Village, and various peaks to the north east. Unit 6 is a ski in ski out lot and has a skier access easement on its western property boundary.

The proposed design for Unit 6 has a mountain modern architectural theme. Exterior materials include horizontal reclaimed wood siding, an ashlar stone layup, patina metal paneling, black window frames, and a grey standing seam roof. Public spaces of the Great Room, Grand Patio, Dining, and Ski room are pushed to the Northeast side of the site to take advantage of views. The garage is located closest to Cortina to allow for minimal grading and easy access. A lower level includes bedrooms, ski room, and family room that also face north east. Due to the home's small footprint & the steepness of the lot, a third, lowest level was designed that includes a mechanical room and bunk room.

Sincerely,

Jamie Daugaard, AIA, NCARB, LEED ap

Principal Architect-Centre Sky Architecture

10125 RANCHO MONTECITO DRIVE PARKER COLORADO 80138 303.840.0020 303.840.2299 F



11 LONE PEAK DR #206; BOX 161488 BIG SKY MONTANA 59716 406.995.7572 406.995.7477 F

T6 Variance Criteria

- A- The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography, or other extraordinary or exceptional physical conditions.
 - a. The size, shape, topography, and other physical conditions such as the existing retaining wall & driveway on Unit 6 create extreme hardship on a very challenging site to build on. The topography on Unit 6 is exceptionally steep, especially working towards the southeast corner. Ninety-four percent of the buildable area is over 30% slope (see Exhibit A). Additionally, there is an existing 20'+ retaining wall along the south setback line that the home is required to be set back from for safety and future maintenance access. A shared driveway access takes the front setback area of the building, forcing the home to be pushed further back from the designated setback, and thus pushes the mass further downhill (See Exhibit B). The limited buildable area forces the home to be tight to the north and east property lines. The steep terrain and limited buildable area would not allow for a home with a main level to be constructed on this property without a height variance.
 - b. If we are held to height restrictions, the main level would need to move down 15-21 feet. This would force the current three-story home to become a two-story home. The home would also have to cut further into the hillside, decreasing natural light access & increasing excavation and structural complexities. The limited direct natural light access will create a larger usage and dependence on utilities.
- B- The variance can be granted without substantial detriment to the public health, safety, and welfare.
 - a. A height variance has no effect on the public health, safety, and welfare.
- C- The variance can be granted without substantial impairment of the intent of the CDC
 - a. This well-designed home responds to the topography, it will sit below the tree line, and will not impair any views of neighboring lots.
- D- Granting the Variance does not constitute a grand of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district
 - a. Multiple height variances have been approved on neighboring lots. We expect more to be requested as Units 1-5 are developed. The steep terrain & limited buildable area will not allow for a functional home design that meets the height restrictions.
- E- Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use.
 - a. If a variance is not granted, the home must be constructed with only a garage/entry on the entry level, and stairs down to the main common areas of the home. This would be a dysfunctional home design and would inhibit the lot from being built out.

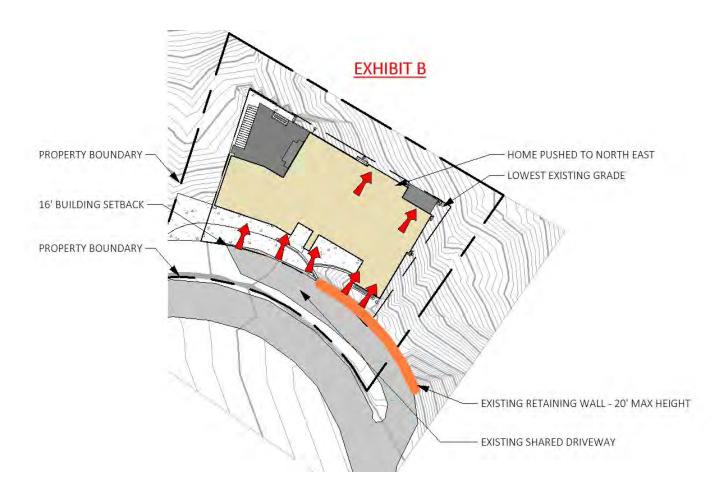
- b. The majority of home owners require a main level. Dropping the main level down to meet height requirements would add a vertical barrier to all users.
- c. The roof responds to the topography, with the lowest point of the roof above the lowest grade in the north east corner (see exhibit C). Anything more limiting would not allow for a reasonable main floor area that aligns the areas exceptional quality of homes. The mass of the home is also recessed on the north east corner of the home.
- F- The lot for which the variance is being granted was not created in violation of town regulations or Colorado State Statues in effect at the time the lot was created
- G- The variance is not solely based on economic hardship alone
 - a. Economic hardship is not a primary issue. The variance is requested to allow for a functional home design that will be a valuable asset to the community.
- H- The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations and standards
 - a. All other regulations are met

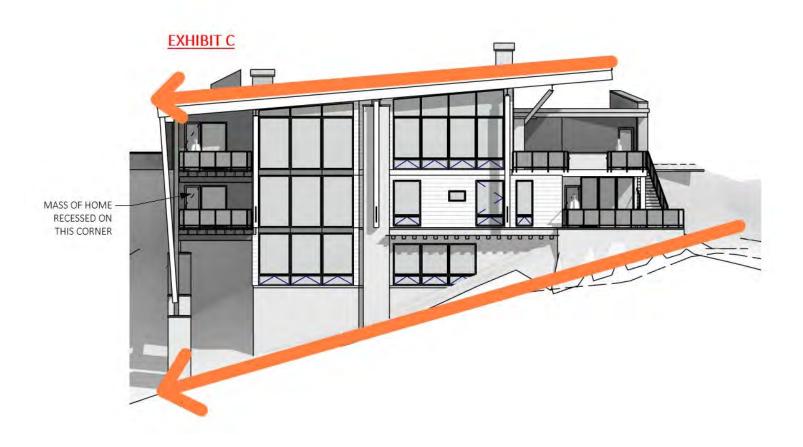
Sincerely,

1. Day 1

Jamie Daugaard, AIA, NCARB, LEED ap

Principal Architect-Centre Sky Architecture



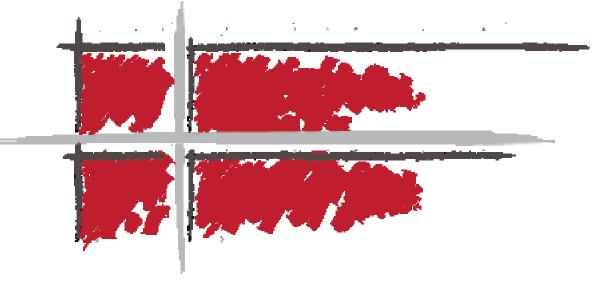


TELLURIDE #6

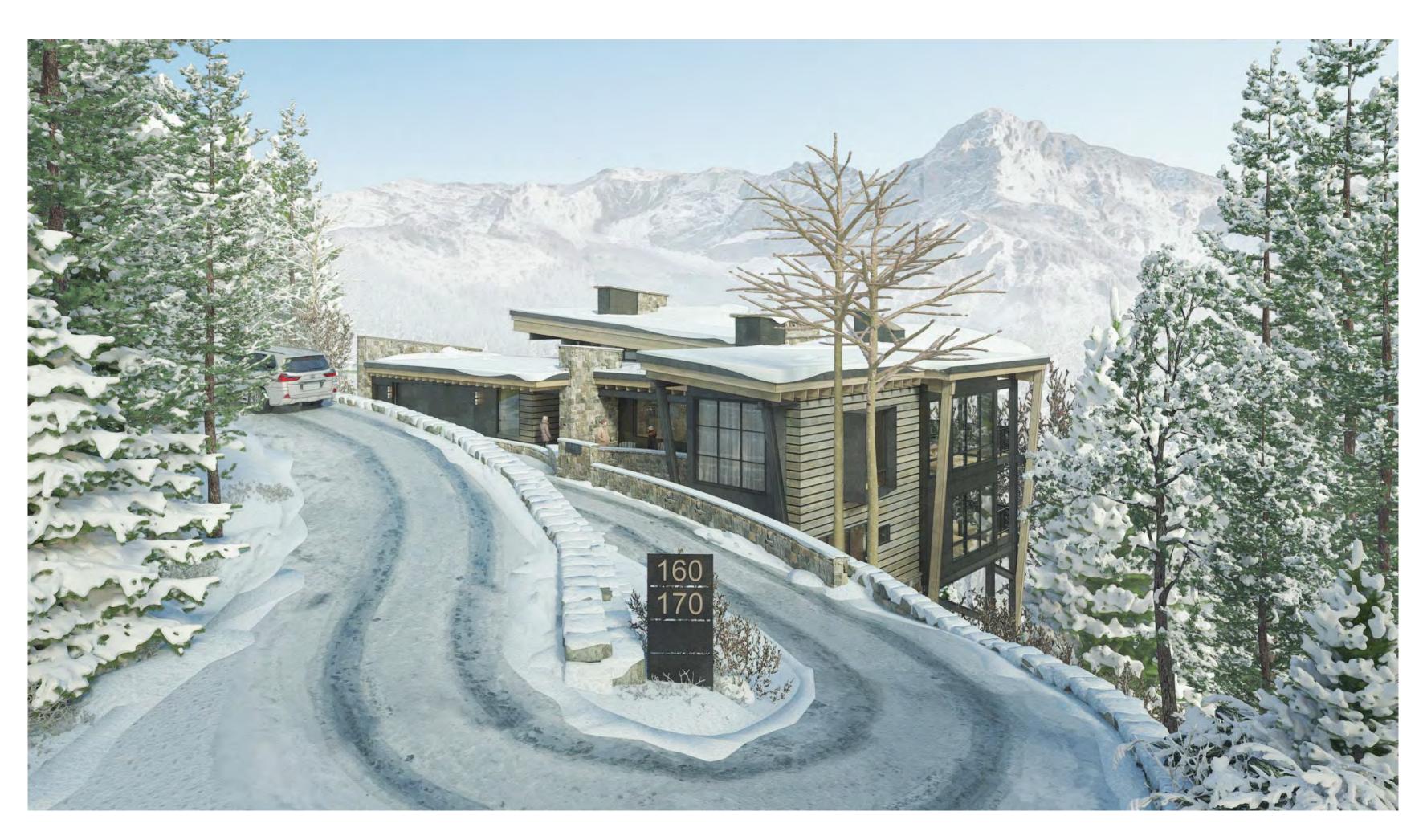
TELLURIDE, CO 81435



NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.





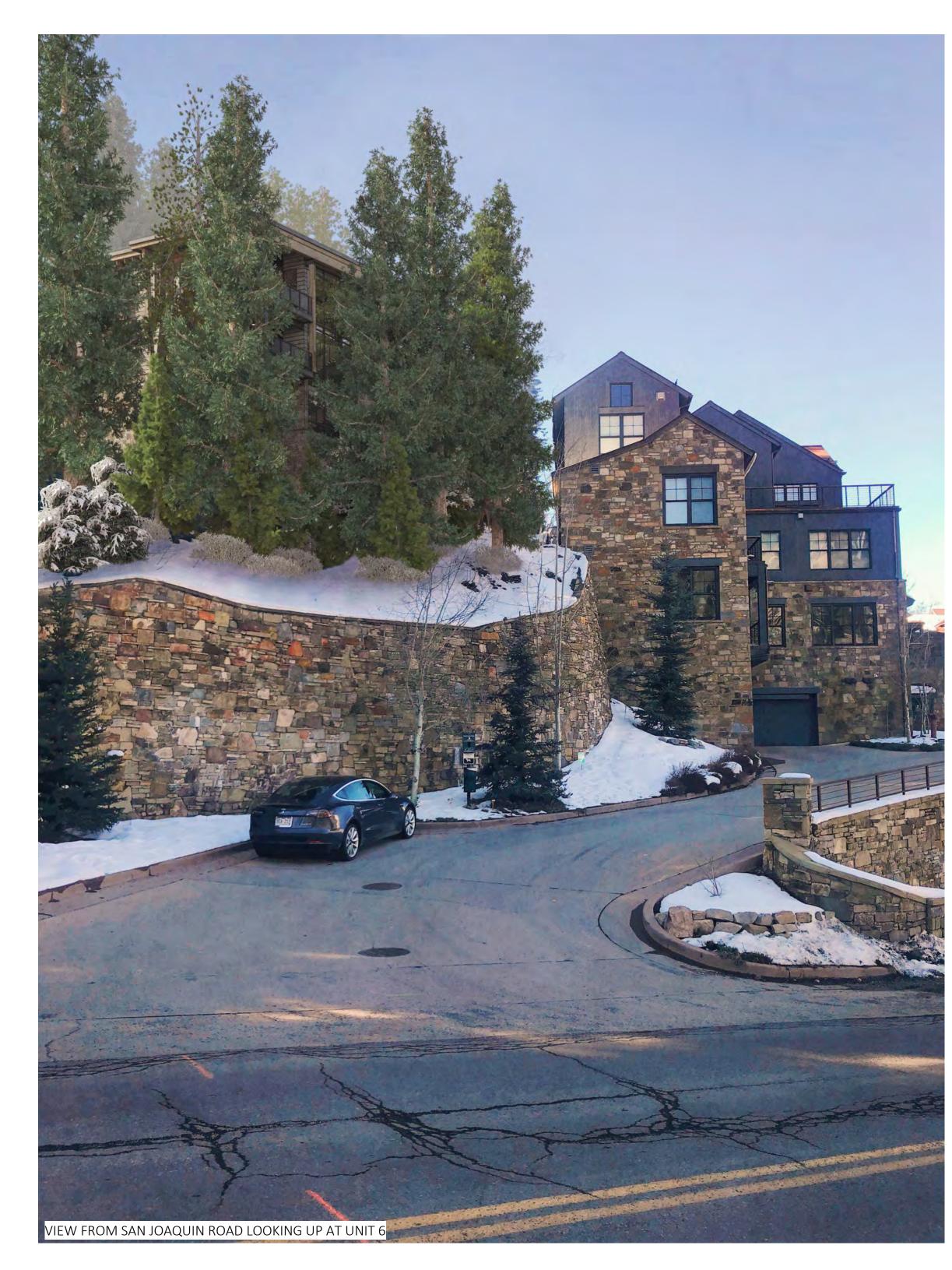






NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.





height heating

hardwood

knockout

length, angle

laboratory

laminate (d)

lineal feet

live load

masonry

include (d) (ing)

insulate (d) (ion)

heat/ventilate/air condition

international residential code

HWD

HVAC

■ CENTRE SKY ARCHITECTURE, LTD.

CENTRE SKY ARCHITECTURE, LTD.

11 Lone Peak Dr. #206

E-mail: sara@centresky.com

Website: www.centresky.com

Phone: (406) 995-7572 Fax: (406) 995-7477

TRAUTNER GEOTECH

P.O. Box 161488

Big Sky, MT. 59716

Jonathan Butler, P.E.

970-759-3113 (Cell)

95 North Henry St.,

970-529-2020 (Cortez)

649 Tech Center Dr.,

970-259-5095 (Durango)

Durango, Colorado

OCCUPANCY:

CONSTRUCTION TYPE:

FIRE SUPPRESSION:

ALLOWABLE FLOOR AREA

INTERIOR BEARING WALLS:

REQUIRED

ACTUAL

SEWER:

FIRE DEPT:

TELEPHONE SERVICE:

FIRE DEPT. PHONE:

DEFENSIBLE SPACE:

GEOTECHNICAL REPORT:

UNDERGROUND UTILITY LOCATE:

ZONING DISTRICT

STRUCTURAL FRAME:

Cortez, Colorado

ARCHITECTURE MICHAEL TALBOTT

GEOTECHNICAL

ENGINEER

13905 River GLen Ln.

Prospect, KY 40059

Bruce McIntyre

Phone: (970) 729-0970

327 E Colorado Ave.

Telluride, CO 81435

Phone: (970) 728-8238

E-mail: barbara@luxwest.com

drawer

equal

exhaust

floor drain

foundation

floor (ing)

fluorescent

fire extinguisher

fire extinguisher cabinet

finished floor elevation

feminine napkin dispenser

equipment

electric hand dryer

electric water cooler

expansion joint

P.O. Box 1552

E-mail: brucem@luxwest.com

Cell: (502) 415-2280

E-mail: mtalbott1@gmail.com

LUX WEST PROPERTIES

LUX WEST INTERIORS

CLIENT

CLIENT

INTERIOR

STIFF

STO

STR

perforate

perimeter

plastic laminate

pounds per lineal feet

pounds per square foot

pounds per square inch

paper towel dispenser

polyvinyl chloride

riser, radius

rubber base

roof drain

refrigerator

reference

range

register

reflected ceiling plan

return air

stiffener

storage

tread

structural

suspended

terra cotta

telephone thick (ness)

top of concrete

toilet paper dispenser

toilet paper holder

tongue and groove

uniform building code

underground electric

underwriters laboratory

unless noted otherwise

vinyl composition tile

trash compactor

top of steel

top of wall

tube steel

television

typical

vertical

top of

stacked ovens

DESIGN

REPRESENTATIVE

FINBRO CONSTRUCTION

E-mail: gregg@alpinelandconsulting.com

Website: alpinelandconsulting.com

ALPINE LAND CONSULTING, LLC.

70 Pilot Knob Lane Telluride, CO 81435

P.O. Box 234

Rico, CO 81332

Phone: (970) 708-0326

GENERAL CONTRACTOR

CIVIL ENGINEER

FINBRO CONSTRUCTION

F COLORADO: 10125 RANCHO MONTECITO DR. PARKER, COLORADO 80138 P 303.840.0020

MONTANA: P.O. BOX 161488 11 LONE PEAK DR., UNIT 206 BIG SKY, MONTANA 59716

UTAH: 1960 SIDEWINDER DR., #101 PARK CITY, UTAH 84060

www.centresky.com

CENTRE SKY

ARCHITECTURE, LTD.

ARCHITECTURE

& PLANNING

P 406.995.7572

P 435.604.0891

NOVEMBER 25, 2020 ■

CODE ANALYSIS

TYPE V NON RATED REQUIRED - NFPA 13D **REQUIRED-**

MOUNTAIN VILLAGE CDC BEARING & NON-BEARING EXTERIOR WALLS: NON RATED NON RATED

SCHEMATIC DESIGN/ INITIAL DRB SUBMITTAL

MAXIMUM BUILDING HEIGHT AVERAGE BUILDING HEIGHT 56' 4" (VARIANCE REQUESTED) 32' - 10" (VARIANCE REQUESTED)

BUILDING DEPT:

BUILDING DEPT PHONE:

CODE JURISDICTION:

SHAFT ENCLOSURES:

ROOF/ROOF CEILING:

PROJECT SQUARE FOOTAGE

AREA ANALYSIS

SQUARE FOOT: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR FACE OF STUD OR FACE OF CONCRETE WALL, INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES); DOES NOT INCLUDE FIREPLACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.

LOT COVERAGE

< 40% OF LOT

39% OF LOT

GROSS SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES), MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UNFINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.

SITE INFORMATION

HABITABLE O. ROCK BOTTOM O.SUB FLR ON HABITABLE

SOURCE GAS - (970) 728-6141

30 FEET IS RECOMMENDED

COPIES AVAILABLE UPON REQUEST

TRAUTNER GEOTECH

TELLURIDE FIRE PROTECTION DISTRICT

(970) 729-2411 CHIEF / INSPECTOR - J. CHEROSKE

SAN MIGUEL POWER ASSOCIATION 1-888-864-7311

O. ROCK BOTTOM

T.O.SUB FLR

SEISMIC DESIGN CATEGORY: FROST DEPTH: SNOW LOADS: FOUNDATION STANDARD:

1045 SF

2833 SF

2447 SF

369 SF

659 SF

1028 SF

7353 SF

10125 Rancho Montecito Drive

Phone: (303) 840-0020 Fax: (303) 840-2299

Parker, CO. 80138

DESIGN CRITERIA 90 MPH/3 SEC. GUST (VERIFY W/ STRUCTURAL ENG.) "C" (VERIFY WITH STRUCTURAL ENG.) MINIMUM 48" BELOW FINISH GRADE - PSF (VERIFY WITH STRUCTURAL ENGINEER) REFER TO STRUCTURAL DRAWINGS, GENERAL NOTES & FOUNDATION

STATE OF COLORADO - SAN MIGUEL COUNTY

2009 INTERNATIONAL ENERGY CONSERVATION CODE

TOWN OF MOUNTAIN VILLAGE & SAN MIGUEL COUNTY

2009 INTERNATIONAL RESIDENTIAL CODE

2006 INTERNATIONAL PLUMBING CODE

CLASS-A ROOF CONSTRUCTION REQUIRED

(970)728-3923

2009 MECHANICAL CODE

2009 NATIONAL ELECTRICAL CODE

2009 INTERNATIONAL FIRE CODE

2009 FUEL GAS CODE

PARKING SPACES

above autoclaved aerated concrete above finished floor alternate ASPH asphalt air conditioning average BLDG BLKG bottom of bearing BSMT BUR built up roofing catch basin corner guard cast iron

CMU

CMA

CONC

CONT

CORR

CONST

ABBREVIATIONS

control joint clear (ance) concrete masonry unit carbon monoxide alarm clean out column concrete construction continuous or continue carpet (ed) casement ceramic tile clothes dryer clothes washer drinking fountain

double hung diameter dimension (s) dead load downspout detail

dish washer

KEY PLAN

feminine napkin vendor MATL material (s) face of concrete maximum medicine cabinet face of masonry mechanic (al) face of stud metal manufacture (r) manhole footing minimum miscellaneous microlam molding, moulding gage, gauge MMB membrane masonry opening grab bar MOV general contract mount (ed) (ing) garage door opener microwave oven galvanized iron glass, glazing gypsum wall board north natural gypsum not in contract NOM nominal not to scale headed anchor stud hose bibb hardboard hollow core on center (s) handicap (ped) outside diameter overflow drain overhead hollow metal horizontal

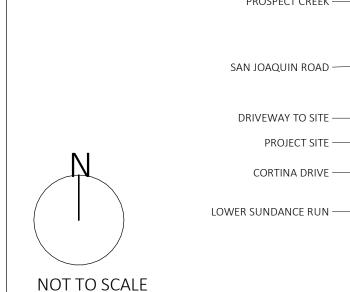
smoke alarm supply air solid core schedule storm drain section sheet sheathing similar sink soap dispense specification SPEC speaker square service sink sanitary sewer opposite hand standard

REQD

reinforce (d) (ing) vapor retarder revision (s), revised west, wide, width roofing watercloset rough opening wood right of way window rough sawn wide flange wire glass refrigerator drawers wrought iron waterproof (ing) warming drawer water supply suspended acoustic grid welded wire fabric angle centerline

diameter perpendicular

VICINITY MAP

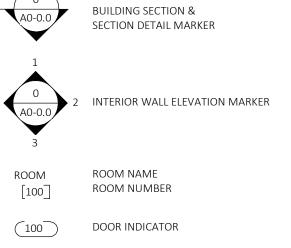


SHEET INDEX

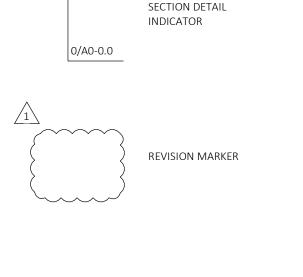
T1-0.1 TITLE SHEET AO-0.0 GENERAL NOTES A0-0.2 MATERIAL SPECIFICATIONS C1-0.0 SURVEY C1-0.1 GRADING C1-0.2 DRAINAGE ARCHITECTURAL A1-0.1 ARCHITECTURAL SITE PLAN A1-0.2 SITE SECTIONS A1-0.3 SITE DETAILS A1-1.0 LOWER LEVEL PLAN A1-1.1 MAIN LEVEL PLAN A1-3.1 ROOF PLAN A1-3.2 ROOF PLAN & TOPO SURVE A2-0.1 EXTERIOR ELEVATIONS A2-0.2 EXTERIOR ELEVATIONS A5-1.2 EXTERIOR DETAILS A6-1.2 WINDOW SCHEDULE

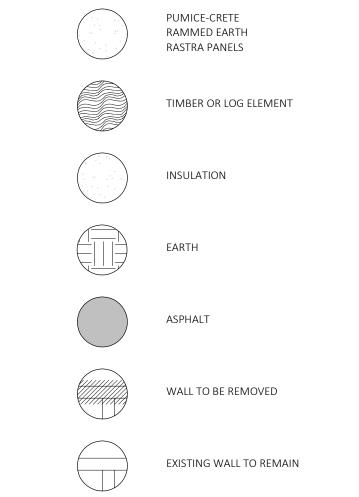
6-2.1 DOOR ELEVATIONS & SCHEDULE

GRAPHIC SYMBOLS ____ LINE OF ELEMENT ABOVE POINT ELEVATION POINT OR HIDDEN ELEVATION DESCRIPTION EXTERIOR ELEVATION MARKER DETAIL INDICATOR

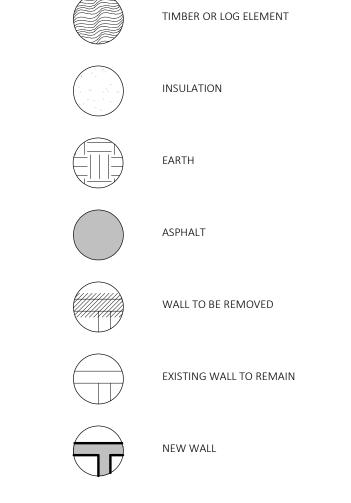


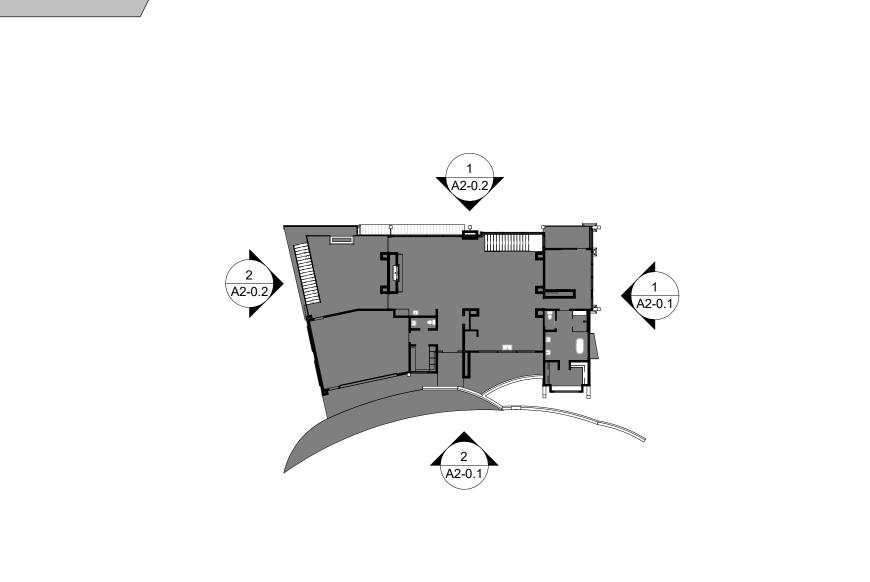
WINDOW TYPE

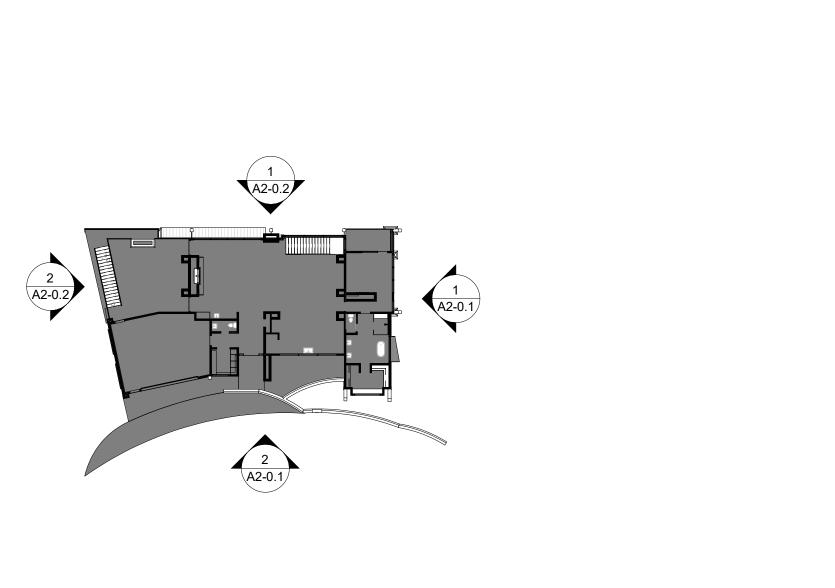


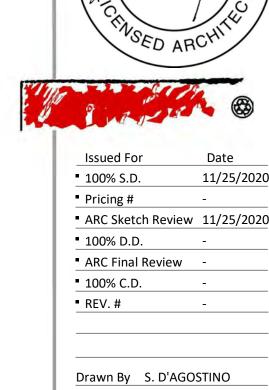


NEW CONCRETE









NOT FOR

CONSTRUCTION

T1-0.1

TITLE SHEET

Project # 2021.00

SHALL BE NOTIFIED IMMEDIATELY.

- ALL CONSTRUCTION INCLUDED UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE & LOCAL CODES, STANDARDS, REGULATIONS, ORDINANCES, SPECIFICATIONS AND ANY APPLICABLE DESIGN OR ARCHITECTURAL REVIEW COMMITTEES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS APPLICABLE TO THIS
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ONSITE REVIEWS BY BOTH THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER AT THE APPROPRIATE CONSTRUCTION PHASE/S AS SET FORTH BY EACH SPECIALTY. GENERAL CONTRACTOR/CONSTRUCTION MANAGER AS WELL AS SUB-CONTRACTORS SHALL BE FAMILIAR WITH & COMPLY TO ALL PROCEDURES SET FORTH BY FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES IN THE CONSTRUCTION OF THIS PROJECT. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FURNISH ALL AFFIDAVITS, CERTIFICATES, & REPORTS THAT MAY BE REQUIRED BY ANY & ALL AGENCIES INCLUDING ANY APPLICABLE DESIGN OR ARCHITECTURAL REVIEW COMMITTEES UPON REQUEST. ALL CONSTRUCTION DOCUMENTS ARE BASED ON THE ACCURACY OF THE EXISTING RECORD DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR /CONSTRUCTION MANAGER AND TRADE CONTRACTORS TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE INSTALLATION OF ANY NEW WORK OR DEMOLITION OF EXISTING CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE EXISTING CONDITION AND THE CONSTRUCTION DOCUMENTS THE ARCHITECT
- INTERRUPTION OF EXISTING UTILITIES AND SERVICES AS NECESSARY MUST BE COORDINATED WITH THE OWNER'S REPRESENTATIVE WITH A MINIMUM OF 72 HOURS PRIOR NOTICE. THESE SERVICE INTERRUPTIONS INCLUDE BUT ARE NOT LIMITED TO; WATER, POWER, SANITARY SEWER, GAS, TELEPHONE, CABLE, ETC.
- CONTRACTORS SHALL COMPLY WITH ALL CONSTRUCTION DOCUMENTS, INCLUDING OUTLINE SPECIFICATIONS. <u>DO NOT SCALE</u> <u>DRAWINGS!</u> FOLLOW DIMENSIONS AS PER PLANS. NOTIFY ARCHITECT OF ANY CONFLICTS. SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE. BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION
- METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS. CONTRACTORS AND SUB CONTRACTORS SHALL RIGIDLY ADHERE TO ALL LAWS. CODES, AND ORDINANCES WHICH APPLY TO THIS
- WORK. THEY SHALL NOTIFY AND RECEIVE CLARIFICATION FROM ARCHITECT IN WRITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS. PRIOR TO MATERIAL FABRICATION, SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR CONFORMANCE TO DESIGN. REFER TO NOTES BELOW ON "SHOP DRAWINGS" AS WELL AS STRUCTURAL ENGINEERS GENERAL NOTES FOR FURTHER INFORMATION. THE CHECKING OF SHOP DRAWINGS BY THE ARCHITECT OR ENGINEER IN NO WAY RELIEVES THE CONTRACTOR OF
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WALL TYPES CONFORM TO STRUCTURAL SHEAR WALL REQUIREMENTS, REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION. PROVIDE SCREEN WALL AT ALL EXTERIOR MECHANICAL EQUIPMENT. SCREEN WALL TO BE AT A MIN. HEIGHT OF 1'-0" ABOVE THE
- MECHANICAL EQUIPMENT, UNLESS NOTED OTHERWISE A RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS
- GUARDRAILS ARE REQUIRED AT ANY LOCATION HAVING A VERTICAL DROP GREATER THAN 30 INCHES AND ARE TO BE 36" MINIMUM IN HEIGHT
- OPEN GUARDRAILS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH. INSTALL HANDRAILS AT ALL STAIRS HAVING MORE THAN TWO RISERS, UNLESS SHOWN OTHERWISE. HANDRAILS TO BE NOT LESS
- THAN 34 INCHES, NOR MORE THAN 38 INCHES ABOVE NOSING OF TREADS. CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5'-0" O.C. UNLESS NOTED OTHERWISE.

FULL RESPONSIBILITY FOR ACCURATE COMPLETION OF THE WORK AS DRAWN AND SPECIFIED.

- ALL CONCRETE SLABS ON GRADE TO HAVE SLIP SHEETS INSTALLED BETWEEN SLAB AND SUBGRADE EVERY EFFORT IS MADE TO PROVIDE COMPLETE AND ACCURATE INFORMATION. IF THERE IS ANY CONFLICTING INFORMATION OR OMISSIONS IN THE WORKING DRAWINGS OR SUPPLEMENTAL DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECT FOR A RESOLUTION.
- PROVIDE INSULATION AS FOLLOWS IN COMPLIANCE WITH 2012 IECC, SEE TABLE 402.1.1 FOR FULL DETAILS. R-49 MIN. WOOD FRAME WALL R-20 MIN. OR R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING.
- R-15 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME; OR IF MASS WALL MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL, R-19 MIN. CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- R-30 MIN. R-15 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME; OR IF **BASEMENT WALL** MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL, R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL
- R-10 MIN. @ 4' DEPTH, R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED R-10 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR CRAWL SPACE WALL R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- THERMAL IMAGING TEST IS REQUIRED ONCE ALL INSULATION IS INSTALLED AND BEFORE DRYWALL OR OTHER WALL SURFACES ARE PLACED. TEST RESULTS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW.
- BLOWER DOOR TEST IS REQUIRED ONCE ALL DOORS AND WINDOWS ARE INSTALLED. TEST RESULTS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW. ACH50 TEST IS REQUIRED AND IS DEFINED AS THE NUMBER OF TIME THE AIR VOLUME IN A BUILDING CHANGES PER HOUR AT 50 PASCALS OF PRESSURE
 - <1.5 = VERY TIGHT (REQUIRES MECHANICAL VENTILATION)</p> - 1.5 TO 3 = TIGHT (REQUIRES MECHANICAL VENTILATION)
- 3 TO 6 = TYPICAL RANGE FOR NEW CONSTRUCTION (MAY REQUIRES MECHANICAL VENTILATION) - 10 TO 20 = VERY LEAKY
- MECHANICAL CONTRACTOR TO SUBMIT MECHANICAL EQUIPMENT LAYOUTS TO ARCHITECT FOR APPROVAL PRIOR TO IMPLEMENTATION
- THE REVIEW OF PLANS BY THE ARCHITECTURAL REVIEW COMMITTEE DOES NOT IMPLY THAT COMPLIANCE WITH FEDERAL. STATE AND OR LOCAL CODES HAVE BEEN MET. IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE COMPLIANCE WITH ANY AND ALL LAWS GOVERNING THE DEVELOPMENT OF PROPERTY G.C. SHALL SUBMIT WEEKLY DIGITAL PHOTOS OF THE PROJECT AT THE END OF EACH WEEK TO ARCHITECT & OWNER.
- G.C. SHALL SUBMIT TO ARCHITECT AND OWNER AND OPERATIONS AND MAINTENANCE MANUALS INCLUDING BUT NOT LIMITED TO: TABLE OF CONTENTS, LIST OF CONTRACTORS AND SUB CONTRACTORS, SYSTEMS AND EQUIPMENT, AND EQUIPMENT AND OVERALL MAINTENANCE PROCEDURES.
- ALL PROPOSED ROOF PENETRATIONS SHALL BE COORDINATED BY GENERAL CONTRACTOR AND SUBMITTED TO ARCHITECT BEFORE
- CO DETECTORS SHOULD BE LOCATED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL OF THE RESIDENCE. INCLUDING BASEMENTS AS APPLICABLE.
- A BENCH MARK OF 100'-0" SHALL BE ESTABLISHED AT CONSTRUCTION SITE HEADS OF SCREWS TO ALIGN VERTICALLY ON DOOR HARDWARE, ELECTRICAL OUTLET COVERS, ETC. PRO-VENT OR SIMILAR PRODUCT TO BE ADDED TO EXPOSED DUCT INTAKES IMMEDIATELY AFTER THEY ARE INSTALLED.
- IN WOOD FLOORING INSTALLATION OVER RADIANT HEAT, MODERATE SURFACE CHECKING, CRACKING, SHRINKAGE, GAPING BETWEEN PLANKS, AND SLIGHT CUPPING ARE ALL TO BE EXPECTED AND DO NOT CONSTITUTE A PRODUCT DEFECT
- ALL DIFFUSERS TO BE FLUSH WITH WOOD FLOORS PRIOR TO PROJECT HAND OFF, ALL WATER SENSORS ARE TO BE TESTED

MECHANICAL SPECIFICATIONS

- BID/SUBMITTALS
- DISCIPLINE COORDINATION MECHANICA PLUMBING

GENERAL NOTES

BUILDING FOOTPRINT SHALL BE LOCATED BY A CERTIFIED SURVEYOR & TO BE REVIEWED AND APPROVED BY ARCHITECT BEFORE

SITE MANAGEMENT NOTES

ENABLE EMERGENCY VEHICLES TO LOCATE THE RESIDENCE.

- COMMENCING WORK. CONTRACTOR SHALL REMOVE ALL VEGETATION, TREES, STUMPS, DEBRIS AND EXISTING STRUCTURES, INCLUDING PAVEMENT, SIDEWALK, BUILDING FOUNDATION, ABANDONED UTILITIES AND EXISTING TOPSOIL IN ALL AREAS OF DEVELOPMENT.
- DO NOT DISTURB SITE BEYOND CONSTRUCTION LIMITS AS SET FORTH WITHIN THIS DRAWING SET ALL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND OR RE-LANDSCAPED AS SET FORTH IN THE LANDSCAPING PLAN OR TO MATCH EXISTING WHERE NOT NOTED, SUCH THAT THEY BECOME INDISTINGUISHABLE FROM ADJACENT UNDISTURBED NATURAL AREAS. NOTICE TO ALL CONTRACTORS AND SUBCONTRACTORS: PROTECT NATURAL VEGETATION, TERRAIN, ROCKS, ETC. FROM STUCCO,
- PAINT, ROOFING FOAM, CONCRETE OR OTHER DAMAGE BY COVERING WITH PLASTIC OR AS REQUIRED. PROVIDE A 4'-0" HIGH BARRIER WITHIN BUILDING ENVELOPE (WHEN APPLICABLE). KEEP MATERIALS AND WORKMEN WITHIN THE FENCE TO PREVENT DAMAGE TO NATURAL TERRAIN AND VEGETATION. THE COST OF RECLAIMING OR REPAIRING ANY DAMAGE DUE TO NEGLIGENCE WILL BE AT THE CONTRACTOR'S / SUBCONTRACTOR'S EXPENSE.
- ANY AREAS EXTENDING BEYOND THE IMMEDIATE BUILDING SITE THAT ARE DISTURBED DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO, DRAINAGE FACILITIES AND UTILITY (SEWER, WATER, ELECTRIC, ETC.) TRENCHES SHALL BE RESTORED TO THEIR NATURAL ALL TRADES SHALL BE RESPONSIBLE TO COMPLETE SITE INVESTIGATION TO IDENTIFY SCOPE OF MATERIALS TO BE REMOVED AND NEW
- MATERIALS REQUIRED TO MATCH EXISTING CONSTRUCTION. ALL PROPERTY AND BUILDING LINES AS WELL AS ALL SPOT ELEVATIONS SUCH AS TOP OF PWD IN RELATION TO EXISTING GRADE, SHALL BE FIELD VERIFIED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION. HOUSE ADDRESS MARKING: A HOUSE NUMBER SHALL BE DISPLAYED IN A PROMINENT MANNER, SO THAT IT IS REASONABLY VISIBLE TO
- ALL RETAINING WALLS TO HAVE DRAIN TILE SURROUNDED BY 3/4" CRUSHED GRAVEL WRAPPED IN GEOTEXTILE BEHIND WALL AND WEEPS @ 4'-0" OC. (TYP). REFER TO SOILS REPORT FOR FURTHER INFORMATION. 3'-0" NON COMBUSTIBLE SPACE AROUND HOUSE PERIMETER IS REQUIRED 30'-0" DEFENSIBLE SPACE AROUND HOUSE PERIMETER IS STRONGLY RECOMMENDED

<u>UTILITIES</u>

- CONTRACTOR SHALL CONFIRM WITH EACH APPLICABLE AGENCY THAT ALL UTILITIES (SEWER, POWER, WATER, ETC.) ARE LOCATED AS SHOWN AND THAT SEWER TAP IS LOW ENOUGH TO SERVE ALL PLUMBING DRAINS CONTRACTORS SHALL NOTIFY UTILITY LOCATOR A MINIMUM OF (3) WORKING DAYS PRIOR TO COMMENCING WORK TO DETERMINE
- HOW RESPECTIVE UTILITIES WILL BE EFFECTED BY CONSTRUCTION. ALL UTILITIES ARE TO BE BURIED, AND SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ORDINANCES. UTILITY ROUTING AND CONDUIT TRENCH LOCATIONS SHALL CONFORM TO ALL APPLICABLE BUILDING CODES WITH REFERENCE TO
- ELECTRICAL METER SHALL HAVE THE ABILITY TO BE READ REMOTELY BY POWER COMPANY. WATER SUPPLY LINE SHALL BE 11/2" OD POLYETHYLENE AND 8'-0" BELOW GRADE, UNLESS NOTED OTHERWISE.

EXCAVATION

- ANY EXCAVATION SHALL BE CONDUCTED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN GEOTECHNICAL REPORT. FINISH GRADE SHALL BE A MINIMUM OF 8 INCHES BELOW WOOD FRAMING AT BUILDING EXTERIOR.
- FINISH GRADE TO SLOPE AWAY FROM STRUCTURE FOR A MINIMUM DISTANCE OF 10'-0" AND AT A MINIMUM SLOPE OF 1:10 AND A MAXIMUM SLOPE OF 1:2 UNLESS NOTED OTHER WISE. - GEOTECHNICAL REPORT TO SUPERCEDE ANY FURTHER CONFLICTS. THERE SHALL BE AN EVEN SLOPE BETWEEN NEW GRADES. UNLESS NOTED OTHERWISE, MEET EXISTING GRADES AT A MAXIMUM SLOPE OF 1'-0" VERTICAL TO 2'-0" HORIZONTAL AND A RECOMMENDED SLOPE OF 1'-0" VERTICAL TO 10'-0" HORIZONTAL. ALL FINISHED EARTH GRADES TO BE 1" BELOW ADJACENT WALKS AND DRIVES UNLESS OTHERWISE NOTED. DITCHES TO HAVE SMOOTH CONTOURS TO FACILITATE USE OF LAWN MOWERS WHERE APPLICABLE.
- THE UNDER FLOOR GRADE SHALL BE CLEANED OF ALL VEGETATION AND ORGANIC MATERIAL. ALL WOOD FORMS USED FOR PLACING CONCRETE SHALL BE REMOVED, AND ALL CRAWL SPACES SHALL BE CLEANED OF ALL CONSTRUCTION DEBRIS BEFORE STRUCTURE IS

FIRE SUPPRESSION

PROJECT BUDGET

ROOF PENETRATION PLAN.

TIMBER SHOP DRAWINGS

BLOWER DOOR TEST RESULTS

COMING SCHEDULE DEADLINES.

STEEL SHOP DRAWING

RADON MITIGATION PLAN AND DETAILS

FIRE SUPPRESSION DESIGN AND LAYOUT, IF REQUIRED.

- FIRE SUPPRESSION SYSTEM IS REQUIRED, SPRINKLER SYSTEM DESIGN AND LAYOUT SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO COMMENCING INSTALLATION
- FIRE SUPPRESSION ENGINEER OF RECORD SHALL BE CONTACTED BY GENERAL CONTRACTOR TO PERFORM ON-SITE OBSERVATION VERIFYING THE INSTALLATION IS IN ACCORDANCE WITH PLANS PROVIDED
- **STAGING NOTES** THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL FROM ANY APPLICABLE ARCHITECTURAL REVIEW COMMITTEE

FOR ALL CONSTRUCTION STAGING IN THE FIELD PRIOR TO CONSTRUCTION.

G.C. SUBMITTALS TO ARCHITECT

DOCUMENTATION OF FIRE SUPPRESSION ENGINEERS SITE REVIEW

BELOW SLAB INSULATION WALK THROUGH, REVIEW, & APPROVAL REQUIRED, COORD. W/ ARCH.

MECHANICAL DESIGN AND SHOP DRAWINGS WHERE MECHANICAL DESIGN IS NOT PROVIDED AS PART OF ARCHITECTS SCOPE.

DOCUMENTATION OF SITE INSPECTIONS FROM STRUCTURAL ENGINEER AND GEOTECHNICAL ENGINEER AS OUTLINED BY EACH ENTITY.

3D HOUSE SCAN BY 3D BOZEMAN, LLC. SCAN TAKEN BEFORE DRYWALL IS INSTALLED. ANOTHER OPTIONAL SCAN AFTER HOUSE IS

WEEKLY OR BI-WEEKLY CONSTRUCTION REPORTS AND PHOTOS DESCRIBING ALL WORK PERFORMED, ANY BUDGET ITEMS, AND UP

MATERIAL SAMPLES AND MOCKUPS AS REQUIRED - SEE MATERIAL LEGEND.

DOOR AND WINDOW MFR. SUBMITTALS AND SHOP DRAWINGS

PRE-MANUFACTURED TRUSS SHOP DRAWINGS, AS APPLICABLE.

ELECTRICAL WALK THROUGH REQUIRED, COORD W/ ARCH, ID, OWNER

CONTRACT W/ RECYCLING COMPANY COORD. INFORMATION W/ ARCHITECT.

SNOW GUARD AND GUTTER SUBMITTALS AND SHOP DRAWINGS

THERMAL IMAGING TEST RESULTS (KEVIN BUDD: 406.581.3096)

VAPOR BARRIER SPECS AND SUBMITTAL SHEETS

INSULATION SPECS AND SUBMITTAL SHEETS.

OPERATIONS AND MAINTENANCE MANUAL

UNDERGROUND UTILITIES RECORD DRAWINGS. TILE LAYUP TO BE REVIEWED BY ARCHITECT OR ID

ROUGH OPENING WALK THROUGH REQUIRED, COORD W/ ARCH.

- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL CLEARING AND EXCAVATION WITHIN EXISTING PROPERTY LINE BOUNDARIES AND THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY REVISIONS OR ALTERATIONS TO THE CONSTRUCTION STAGING PLAN
- PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO INSTALL STRAW BALES IN ADDITION TO SILT FENCE AT LOCATIONS OF POTENTIAL RUN-OFF INTO WETLAND
- AREAS AS INDICATED ON SITE PLAN ANY DAMAGE TO THE EXISTING ROADWAY, INCLUDING THE ASPHALT SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, AND EXISTING VEGETATION AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE DEVELOPMENT
- GRAVEL CONSTRUCTION ENTRANCE IS TO BE CONSTRUCTED WITH A MIN. OF 2" OF 3/4"SCREENED ROCK TO COVER ALL DRIVEWAYS, PARKING, AND LAY DOWN AREAS TO BE PLACED AT START OF CONSTRUCTION, AND A RECOMMENDATION OF A MIN. OF (8)" MINUS 3" PITRUN OVER A GEOTECHNICAL SEPARATION FABRIC.
- ANY USE OF ANY FIRE HYDRANT IS PROHIBITED FOR USE BY ANY OTHER THAN THE GOVERNING FIRE DEPARTMENT. ALL WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. FURTHER, CONCRETE WASHOUT
- WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED. GENERAL CONTRACTOR IS TO PROVIDE ONE LOCATION FOR CONCRETE TRUCK WASHOUT. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.

EROSION CONTROL AND BMP'S

- STORM WATER DETENTION POND/S ARE REQUIRED TO MINIMIZE SEDIMENT RUNOFF. SEE SITE PLAN AND SITE DETAILS FOR FURTHER INFORMATION.
- STORM WATER DETENTION POND/S SHOULD BE LOCATED ON SITE TO MAXIMIZE THE COLLECTION OF SURFACE RUNOFF WATER, IN ADDITION TO COLLECTING ROOF DRAINS AND FOUNDATION DRAIN IF APPLICABLE. GENERAL CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL FENCE AND/OR SEDIMENT STOP AS INDICATED ON SITE PLAN BEFORE START OF CONSTRUCTION
- CONTRACTORS SHALL CONDUCT THEIR WORK IN SUCH A MANNER THAT ALL SOIL, FUELS, OILS, BITUMINOUS MATERIALS, CHEMICALS, SANITARY SEWAGE, AND OTHER HARMFUL MATERIALS ARE CONFINED WITHIN THE PROJECT LIMITS AND PREVENTED FROM ENTERING STORM SEWERS, WATER COURSES, RIVERS, LAKES OR RESERVOIRS
- THE CONTRACTOR SHALL PLACE A FILTER OR BARRIER COMPOSED OF STRAW, STONE, FILTER FABRIC ON DRAINAGE STRUCTURE GRATES OR OTHER APPROVED MATERIAL AROUND ALL DRAINAGE COURSES TO PREVENT SEDIMENTATION IN THESE AREAS. AFTER THE CONSTRUCTION OPERATIONS ARE COMPLETED, THE CONTRACTOR SHALL REMOVE THESE FILTERS AND CLEAN ALL THE SEDIMENT AND
- DEBRIS FROM THE CATCH BASINS OR OTHER DRAINAGE STRUCTURES. THE COST OF THIS WORK AND OTHER CONTROL MEASURES, WHICH MAY BE REQUIRED, WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE CONSIDERED INCLUDED UNDER THE SCOPE OF THIS PROJECT.
- SEE DETAIL 12 / A1-0.3 FOR RECOMMENDED SEDIMENT STOP INSTALLATION WATER DIVERTED FROM ITS ORIGINAL DRAINAGE PATTERN SHALL BE RETURNED TO ITS ORIGINAL COURSE BEFORE LEAVING THE PROPERTY

INTRODUCED DRAINAGE FEATURES SHALL BE NATURAL APPEARING, DESIGNED TO EMULATE INDIGENOUS SWALES AND WASHES AND

SHALL CONFORM TO ALL DRAINAGE EASEMENTS A "STORM WATER POLLUTION PROTECTION PLAN" (SWPPP) AND PERMIT IS REQUIRED FOR ANY PROJECT WHICH THE AREA OF DISTURBANCE IS GREATER THAN 1 ACRE. FURTHERMORE, THE GOVERNING DEVELOPMENT MAY REQUIRE A SWPPP REGARDLESS OF SIZE OF AREA OF DISTURBANCE

DRIVEWAY REQUIREMENTS

- ANY DRIVEWAY THAT SHALL SERVE AS A "FIRE LANE" AS INDICATED ON THE ARCHITECTURAL LOT DIAGRAM, SHEET A1-0.1, SHALL CONFORM TO THE FOLLOWING: A YEAR ROUND DRIVABLE SURFACE CAPABLE TO SUSTAIN ANY IMPOSED LOADS OF FIRE APPARATUS (30 TONS).
- AN UNOBSTRUCTED DRIVABLE WIDTH OF NOT LESS THAN 16'-0" and A MAXIMUM PAVED WIDTH OF 14'-0" AN UNOBSTRUCTED HEIGHT CLEARANCE OF NOT LESS THAN 13'-6" A MAXIMUM SLOPE OF 12% AT ANY STRAIGHT RUN AND RECOMMENDED MAXIMUM SLOPE OF5% AT ANY TURN LOCATION. MINIMUM INSIDE TURNING RADII OF 30-0"', AND MINIMUM OUTSIDE TURNING RADII OF 50'-0" INSIDE TURNING RADII FOR ANY DRIVEWAY THAT IS NOT PART OF A "FIRE LANE" SHALL NOT BE LESS 10'.
- DRIVEWAY SHALL HAVE A NORMAL GRADE NOT TO EXCEED 10% EXCEPT FOR THE FIRST AND LAST 20' OF DRIVEWAY WHICH IS NOT TO A MAXIMUM OF 5% GRADE IS STRONGLY RECOMMENDED AT ANY AND ALL TURNING LOCATIONS.

LANDSCAPING

SEE DETAILS FOR DRIVEWAY SECTION DETAILS

LANDSCAPE CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT PRIOR TO INSTALLATION, COPIES OF REPORT AVAILABLE UPON REQUEST. RE: ARCHITECT/GENERAL CONTRACTOR/OWNER REFERENCE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE NOTES

REMODEL - DUST CONTROL

DUST CONTROL PLAN IS TO BE SUBMITTED TO OWNER AND ARCHITECT BEFORE DEMOLITION OCCURS.

FLOOR PAPER SHOULD BE APPLIED TO ALL AREAS OF THE CONSTRUCTION ZONE.

IT IS RECOMMENDED THAT ALL SMOKE ALARMS BE TAPED AND COVERED AFTER INSTALL

SHOP DRAWING NOTES

TIME BEFORE OR AFTER SHOP DRAWING REVIEW.

- ISOLATE WORK AREA CLOSE DOORS AND SEAL ONES NOT IN USE WITH TAPE. CREATE TEMPORARY WALLS AND CORDON OFF AREAS USING A 'ZIPWALL DUST BARRIER SYSTEM' OR EQUAL TO THE MANUFACTURER'S
- DESIGNATE ONE DOORWAY INTO THE STRUCTURE AND INSTALL A 'ZIPDOOR KIT' OR EQUAL IN THAT ENTRY WAY SEPARATING WORK AREA FROM THE REST OF THE HOME. IT IS RECOMMENDED TO CHOOSE AN ENTRY WAY THAT ALSO HAS A DOOR TO CLOSE TO CREATE A DOUBLE BARRIER
- DEMO WASTE TO BE REMOVED THROUGH A DUST BARRIER PROTECTION AREA, NOT THROUGH UNPROTECTED AREA'S. IF POSSIBLE, COMPLETELY ELIMINATE ACCESS FROM INSIDE THE NON-CONSTRUCTION AREAS TO THE CONSTRUCTION AREAS; PROVIDING OUTDOOR OR ALTERNATIVE ACCESS TO REST ROOMS, OUTSIDE BASEMENT ACCESS TO UTILITIES, ETC...
- IT IS RECOMMENDED THAT STICKY MATS BE PLACED DIRECTLY OUTSIDE OF THE ENTRANCE TO THE CONSTRUCTION ZONE IN AN ATTEMPT TO CAPTURE EXTRA DUST FROM THE EXTERIOR. IT IS RECOMMENDED TO USE HIGH-EFFICIENCY, HEPA-FILTERED DUST CONTROL EQUIPMENT AND CONTAINMENT BARRIERS TO HELP
- ISOLATE AND REMOVE PARTICLES RELEASED INTO THE AIR DURING DEMOLITION. ESTABLISH A NEGATIVE PRESSURE ENVIRONMENT WITH OUTDOOR AIR CIRCULATION, KEEP WINDOWS AND DOORS INSIDE THE NON-REMODELED HOME CLOSED AT ALL TIMES.
- TURN OFF DUCT-WORK-BASED-HEATING AND COOLING DURING THE ENTIRE CONSTRUCTION PROCESS. IT IS RECOMMENDED TO TAPE PLASTIC BARRIER OVER THE REGISTERS AND VENTS THROUGH OUT THE HOME PRO-VENT OR SIMILAR PRODUCT TO BE ADDED TO EXPOSED DUCT INTAKES IMMEDIATELY AFTER THEY ARE INSTALLED. IT IS RECOMMENDED TO USE A HEPA VACUUM FOR CLEANING PURPOSES. NOT SWEEPING WITH A BROOM
- EXISTING LIGHT FIXTURES TO REMAIN WILL BE SEALED OFF WITH PLASTIC AND TAPE ONCE CARPET OR WOOD FLOORING IS REMOVED, MAKE SURE PLYWOOD SUBFLOOR IS SECURELY ATTACHED TO PREVENT SQUEAKS. IT IS RECOMMENDED TO PERFORM AS MUCH OF THE WORK OUTSIDE AS POSSIBLE

SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL ELEMENTS REQUIRING CUSTOM FABRICATION IN ADDITION TO ANY STRUCTURAL

THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE

CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTAL. ANY SHOP DRAWINGS OR PRODUCT DATE NOT REVIEWED AND STAMPED BY

MANUFACTURER OR FABRICATOR. ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS WHICH ARE NOT CLOUDED OR FLAGGED BY

THE ARCHITECT RESERVES THE RIGHT TO ALLOW OR NOT ALLOW ANY CHANGES TO THE ORIGINAL CONTRACT DRAWINGS AT ANY

THE SHOP DRAWINGS DO NOT REPLACE THE ORIGINAL CONTRACT DRAWINGS. ITEMS OMITTED OR SHOWN INCORRECTLY AND

REVIEWING OF SHOP DRAWINGS IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS.

INCORRECTLY ARE CONSTRUCTED IN ACCORDANCE WITH THE ORIGINAL CONTRACT DRAWING:

RESPONSIBILITY FOR CORRECTNESS AND COMPLETENESS SHALL REST WITH THE CONTRACTOR.

ALLOW A MINIMUM OF FIVE WORKING DAYS FOR REVIEW OF SHOP DRAWINGS BY THE ARCHITECT.

SHOP DRAWINGS WILL BE RETURNED FOR RE-SUBMITTAL IF MAJOR ERRORS ARE FOUND DURING REVIEW

WHICH ARE NOT NOTED AS ALLOWED BY THE ARCHITECT OR STRUCTURAL ENGINEER ARE NOT TO BE CONSIDERED CHANGES TO THE

ORIGINAL CONTRACT DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ITEMS OMITTED OR SHOWN

ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE ORIGINAL CONTRACT DRAWINGS SHALL BE CLOUDED BY THE

THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW. ALL DIMENSIONS SHALL BE VERIFIED BY GENERAL CONTRACTOR

SUBMITTING PARTIES SHALL NOT BE CONSIDERED ALLOWED AFTER THE ARCHITECT'S REVIEW, UNLESS NOTED ACCORDINGLY BY THE

ITEMS REQUIRED BY THE STRUCTURAL ENGINEER. CONSTRUCTION DOCUMENTS SHALL NOT BE REPRODUCED FOR US AS SHOP

STANDARD PUNCH LIST ITEMS /

GC TO REVIEW AND COMPLETE ALL STANDARD PUNCH LIST ITEMS LISTED BELOW PRIOR TO FINAL PUNCH LIST WALKTHROUGH WITH ARCHITECT.

- BRING OPERATIONS & MAINTENANCE MANUAL BINDER TO BE PROVIDED BY GC
- CLEAN UP GENERAL EXTERIOR AND INTERIOR CONSTRUCTION CLEAN UP CLEAN UP CONDITION
- REMOVE OR CLEAN UP PAINT EXTERIOR AND INTERIOR PAINT SMEARED ON TRIM OR OTHER MATERIALS
- PUTTY APPLY PUTTY TO ALL INTERIOR FINISH NAIL HOLES PAINT/STAIN - APPLY PAINT OR STAIN TO PUTTIED NAIL HOLES OR WOOD THAT HAS BEEN CHIPPED
- STAIN STAIN ALL WOOD FACES IF UNFINISHED
- SEALANT OR CAULK APPLIED WHERE APPLICABLE
- DRYWALL MUD & PAINT RECTIFY SCUFF
- REMOVE TAPE PAINT MORTISE STRIKE FLAT BLACK THROUGHOUT
- CLEAN EXTERIOR THRESHOLDS ORIENTATE PLUMBING FIXTURE HANDLES 90 DEGREES TO FLOOR OR COUNTER REMOVE LIGHT DUST & MATERIAL DROPPINGS FROM FLOOR BEFORE PAD & CARPET ARE ADDED
- WOOD FLOOR FILLER
- CLEAN WINDOW SASH CABINET DOOR BUMPERS APPLIED
- ALL DRAWERS TO BE ADJUSTED SO THERE IS NO MOVEMENT AND NO RUBBING
- PAINT FLOOR MECHANICAL VENTS FLAT BLACK CLEAN ALL VENTS OF ANY CONSTRUCTION DEBRIS

MOISTURE CONTROL

- SLOPE PATIO SLABS, WALKS AND DRIVEWAYS A MINIMUM OR 1/8" PER FT. AWAY FROM U.N.N., TAMP BACK FILL IN 6" LAYERS TO PREVENT SETTLING. AN SLOPE THE FINAL GRADE AWAY FROM THE
- FOUNDATION AT A RATE AS PRESCRIBED BY THE GEOTECHNICAL ENGINEER. INSTALL PROTECTED DRAIN TILE AT FOOTINGS. PER SITE SPECIFIC GEOTECHNICAL REPORT. DISCHARGE TO OUTSIDE GRADE (DAYLIGHT) OR TO A SUMP PUMP. NO SURFACE OR ROOF DRAINAGE SHALL BE
- ROUTED TO ANY PART OF THE FOOTING DRAIN TILE SYSTEM DRAINS OR SUMP PUMPS IN BASEMENT AND CRAWL SPACE FLOORS TO DISCHARGE A MIN. OF 10 FT. OUTSIDE THE FOUNDATION OR INTO AN APPROVED SEWER SYSTEM. PROVIDE SEALED (GASKET) SUMP PLIMP COVER IN AREAS WHERE RADON IS OF CONCERN
- PROVIDE CAPILLARY BREAKS BENEATH CONCRETE SLABS, INCLUDING BASEMENT FLOORS. DAMP-PROOF OR WATERPROOF ALL EXTERIOR SURFACES OF BELOW-GRADE FOUNDATION WALLS. DIRECT ROOF WATER AWAY FROM THE STRUCTURE USING GUTTERS AND DOWNSPOUTS THAT EMPTY INTO LATERAL PIPING THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE A MINIMUM OF 10 FT. FROM THE FOUNDATION. ROOFS DESIGNED WITHOUT GUTTERS ARE ACCEPTABLE IF THEY ARE DESIGNED TO DEPOSIT RAINWATER TO A GRADE-LEVEL ROCK BED WITH WATERPROOF LINER DRAIN PIPE THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE, AS SPECIFIED ABOVE. WHEN LOT SPACE LIMITS OR PREVENTS REQUIRED GRADING, DIRECT ROOF WATER TO AN UNDERGROUND CATCHMENT SYSTEM (NOT CONNECTED TO THE FOUNDATION DRAIN TILE SYSTEM) THAT DEPOSITS WATER A MINIMUM OF 10FT. FROM THE FOUNDATION. RAINWATER-HARVESTING SYSTEMS MAY BE USED TO
- MEET THIS REQUIREMENT WHEN THEY ARE DESIGNED TO PROPERLY DRAIN OVERFLOW, MEETING DISCHARGE DISTANCE REQUIREMENTS ABOVE. INSTALL MOISTURE-RESISTANT MATERIAL AND MOISTURE-PROTECTIVE SYSTEMS IN VULNERABLE AREAS TO PREVENT THE GROWTH OF MOLD. INSTALL WATER-RESISTANT HARD-SURFACE FLOORING IN KITCHENS, BATHROOMS, ENTRYWAYS, LAUNDRY AREA & UTILITY ROOMS. DO NOT INSTALL WALL-TO-
- WALL CARPET ADJACENT TO TOILETS AND BATHING FIXTURES. INSTALL MOISTURE-RESISTANT BACKING MATERIAL (I.E., CEMENT BOARD OR THE EQUIVALENT, BUT NOT PAPER-FACED WALL BOARD) BEHIND TUB AND SHOWER ENCLOSURES.
- INSTALL ALL CONDENSATE DISCHARGE ACCORDING TO IRC SECTION M1411.3. INSULATE PIPING INSTALLED IN EXTERIOR WALLS. DO NOT INSTALL CONTINUOUS VAPOR BARRIERS ON THE INTERIOR SIDE OF EXTERIOR WALLS THAT HAVE HIGH CONDENSATION POTENTIAL (E.G., BELOW-GRADE EXTERIOR WALLS IN MOST CLIMATES AND ABOVE GRADE EXTERIOR WALL IN WARM-HUMID CLIMATES). EXAMPLE: AN INTERIOR STUD WALL ERECTED NEXT TO A BELOW-GRADE BASEMENT WALL AND INSULATED WITH MINERAL WOOL, FIBERGLASS OR CELLULOSE INSULATION SHOULD NOT HAVE FOIL-FACED PAPER. POLYETHYLENE FILM OR VINYL WALLPAPER ON ITS INTERIOR SURFACE. WATER VAPOR PASSING FROM THE DAMP EARTH THROUGH THE BELOW-GRADE CONCRETE OR CMU WALL WILL PASS EASILY THROUGH THE INSULATION
- MATERIALS, BU ACCUMULATE ON MICROCLIMATE. USING MATERIALS OF 2 PERMS OF MORE ON THE INTERIOR OF THE WALLS ALLOWS IT TO DRY INTO THE BASEMEN DO NOT INSTALL BUILDING MATERIALS THAT HAVE VISIBLE SIGNS OF WATER DAMAGE OR MOLD. IN ADDITION, INTERIOR WALLS SHALL NOT BE ENCLOSED (E.G., WITH DRYWALL) IF EITHER THE FRAMING MEMBERS OR INSULATION HAS A HIGH MOISTURE CONTENT. FOR WET-APPLIED INSULATION, FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS. LUMBER SHOULD NOT EXCEED 18% MOISTURE
- GARAGE FLOOR DRAINS ARE TO MEET DISCHARGE DISTANCE REQUIREMENTS ABOVE AND TO DRAIN INTO LANDSCAPED/LINED HOLDING PONDS TO ALLOW WASTE WATER TO NATURALLY EVAPORATE. SEE SWPPP % EPA REQUIREMENTS.

GEOTECHNICAL REPORT NOTES

SUPPLEMENT TO THE GEOTECHNICAL REPORT. IT IS REQUIRED THAT THE GENERAL CONTRACTOR AS WELL AS ANY APPLICABLE SUB CONTRACTORS RECIEVE AND REVIEW THE GEOTECHNICAL REPORT. IN IT'S ENTIRETY AND TO NOTIFY THE GEOTECHNICAL ENGINEER IF THERE ARE ANY QUESTIONS OR CONCERNS. A FULL GEOTECHNICAL ANALYSIS AND REPORT HAS BEEN PREPARED FOR THIS PROPERTY BY: <u>TRAUTNER GEOTECH</u>

- SURFACE & SUBSURFACE DRAINAGE SHALL CONFORM TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AS SET FORTH IN THE REFERENCED GEOTECHNICAL REPORT. PROPER DRAINAGE SHOULD BE PROVIDED IN THE FINAL DESIGN AND DURING CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY ISSUES OR CONFLICTS NOT ACCOUNTED FOR WITHIN THESE DRAWINGS OR THE REFERENCED GEOTECHNICAL REPORT SITE PREPARATION PROCEDURES AND FOUNDATION EXCAVATIONS TO BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO ASSESS THAT THE ADEQUATE BEARING CONDITIONS EXIST AND THAT PLACEMENT OF ENGINEERED FILL HAS BEEN PERFORMED SATISFACTORILY. IF THE SOIL CONDITIONS
- SUPPLEMENTAL RECOMMENDATIONS MAY BE REQUIRED. POSITIVE DRAINAGE SHALL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED THROUGHOUT T LIFE OF THE PROPOSED DEVELOPMENT. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION **EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION** STRIP AND REMOVE ANY EXISTING VEGETATION. ORGANIC TOPSOILS. DEBRIS AND ANY OTHER

ENCOUNTERED DIFFER SIGNIFICANTLY FROM THOSE PRESENTED IN THE GEOTECHNICAL REPORT,

- DELETERIOUS MATERIALS FROM THE BUILDING AREAS. THE BUILDING AREAS ARE DEFINED AS THAT AREA WITHIN THE BUILDING FOOTPRINT PLUS 5 FEET BEYOND THE PERIMETER OF THE FOOTPRINT. ALL EXPOSED SURFACES SHOULD BE FREE OF MOUNDS AND DEPRESSIONS THAT COULD PREVENT UNIFORM
- FROZEN SOILS SHOULD NOT BE USED AS FILL OR BACKFILL. EXISTING SOILS REMOVED AT BUILDING FOOTPRINT EXCAVATION MAY BE REUSED IN LANDSCAPE AREAS, AS LONG AS IN ACCORDANCE OF THE REFERENCED GEOTECHNICAL REPORT.
 - WHERE FILL IS TO BE PLACED, LOOSE OR OTHERWISE UNSUITABLE MATERIAL SHOULD BE REMOVED PRIOR TO PLACEMENT OF NEW FILL GEOTECHNICAL ENGINEER OF RECORD SHALL BE CONTACTED BY THE GENERAL CONTRACTOR AT THE ONSET OF THE PROJECT TO SCHEDULE AND PERFORM ON SITE REVIEWS AT THE GEOTECHNICAL ENGINEERS DISCRETION THROUGH ANY AND ALL STAGES OF EXCAVATION AND FOUNDATION. ALL EXCAVATION WORK SHALL CONFORM TO OSHA REGULATIONS.

ALL IMPORT FILL AND ONSITE BACKFILL SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER.

- NOTE: RADON PLAN TO BE SUBMITTED, BY CONTRACTOR, TO ARCHITECT FOR REVIEW. RADON MEASURED IN PICO CURRIES PER LITER pCi/L
 - 2 pCi/L = ACCEPTABLE LEVEL

RECYCLING

FULL CIRCLE RECYCLE BS

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LEE - (406) 599-0601 CELL

LANCE - (406) 581-0599 CELL

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CONTACT: ROB SHACLEFORD

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L&L SITE SERVICES

(406) 581-3551

(406) 587-0662

AT A MINIMUM THE FOLLOWING EXCESS MATERIALS TO BE RECYCLED:

THE FOLLOWING RECYCLING CONTRACTORS ARE TO BE CONSIDERED:

GALLATIN GATEWAY. MONTANA 59730

CARDBOARD, DRYWALL, WOOD, METAL, COPPER, BRASS, STEEL, TIN, NEWSPAPER, AND CARDBOARD

RADON MITIGATION - CRAWLSPACE PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM

- CALKED WITH AN ELECTROMETRIC SEALANT SUCH AS POLYURETHANE CAULK, DAMP PROOF FOUNDATION WALL AND SEAL ANY PENETRATIONS THROUGH THE WALL. CRAWLSPACE SHEETING TO BE HIGH-DENSITY CROSS-LAMINATED POLYETHYLENE. COLOR TO BE WHITE. OVERLAY W. EPDM RUBBERIZED ROOFING MEMBRANE AT HIGH TRAFFIC AREAS AND ALONG EXPECTED TRAFFIC ROUTES. OVERLAP SHEETS BY 12" AND SEAL SHEETING USING A 1/2" WIDE BEAD OF CAULK. WIRE BRUSH 12" ABOVE CRAWLSPACE FLOOR TO REMOVE ANY DIRT AND SECURE PLASTIC TO WALL @ 12" ABOVE CRAWLSPACE FLOOR WITH 1/2" WIDE BEAD
- SEAL AROUND ALL VERTICAL PENETRATIONS. SEAL FLOOR-TO-WALL JOINTS, SEAL CONTROL
- AIR HANDLING SYSTEMS IN CRAWLSPACE TO MAINTAIN CONTINUOUS POSITIVE PRESSURE WITHIN THE DUCTWORK. THIS IS TO PREVENT RADON FROM BEING DRAWN INTO THE DUCTWORK AND THEN DISTRIBUTED THROUGHOUT THE HOUSE.
- RISER PIPE TO BE SCHEDULE 40 PVC OR ABS, CONNECT TO 3 OR 4 INCH DIAMETER CORRUGATED AND PERFORATED COLLECTION PIPE 5'+ OR A STRIP OF GEOTEXTILE DRAIN MATTING ON THE SOIL AT THE RISER LOCATION BENEATH THE PLASTIC SHEETING. CRAWLSPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE SEALED TO PREVENT AIR
- LABEL RISER AT ALL VISIBLE LOCATIONS SO IT IS NOT CONFUSED WITH ANY OTHER PLUMBING. LABEL PLASTIC SHEETING TO STATE THAT THE PLASTIC SHOULD NOT BE REMOVED AND, IF CUT, IT SHOULD BE PATCHED OR REPLACED. AFTER CONSTRUCTION IS COMPLETED, INSPECT THE
- PROVIDE FOR FUTURE FAN IF NEEDED. FAN CANNOT BE INSIDE THE LIVING SPACE OR CRAWLSPACE, FANS ARE MOST OFTEN LOCATED IN ATTICS OR GARAGES (UNLESS THERE IS A LIVING SPACE ABOVE THE GARAGE.) FANS REQUIRE A 30-INCH VERTICAL RUN OF PIPE FOR INSTALLATION. FANS REQUIRE AN UNSWITCHED ELECTRICAL JUNCTION BOX.

RADON MITIGATION - ACTIVE SUB-SLAB SYSTEM

- RECOMMENDATIONS ARE MORE STRINGENT
- CROSS LAMINATED POLYETHYLENE OR EQUIVALENT SHEETING MATERIAL ON TOP OF THE GAS PERMEABLE LAYER. THE SHEETING SHOULD COVER THE ENTIRE FLOOR AREA. SHEETING SHOULD FIT CLOSELY AROUND ANY PIPE. WIRE OR PENETRATIONS
- ALL CONTROL JOINTS OR OTHER JOINTS SHOULD BE SEALED WITH POLYURETHANE CAULK TO LABEL RISER AT ALL VISIBLE LOCATIONS SO IT IS NOT CONFUSED WITH ANY OTHER PLUMBING. LABEL PLASTIC SHEETING TO STATE THAT THE PLASTIC SHOULD NOT BE REMOVED AND, IF CUT IT SHOULD BE PATCHED OR REPLACED. AFTER CONSTRUCTION IS COMPLETED. INSPECT THE SHEETING FOR DAMAGE AND REPAIR AS NECESSARY
- PROVIDE A CONTINUOUS AIR BARRIER BEHIND TUB AND SHOWER LOCATIONS AT ALL EXTERIOR WALLS. INSULATION TO BE INSTALLED BEFORE TUB OR SHOWER ENCLOSURE IS INSTALLED. SEAMS BETWEEN SUBFLOOR AND BOTTOM PLATE TO BE SEALED WITH CAULK SEAMS BETWEEN TOP PLATE, FLOOR JOISTS, AND ROOF JOISTS TO BE SEALED WITH CAULK

ABOVE THE GARAGE.) FANS REQUIRE A 30-INCH VERTICAL RUN OF PIPE FOR INSTALLATION.

SEAL HOLES IN ELECTRICAL BOXES LOCATED ON EXTERIOR WALLS WITH EITHER LOW EXPANSION FOAM OR USE AN AIR TIGHT BOX. SILL SEAL PROVIDED BETWEEN TREATED WOOD SILL PLATES AND CONCRETE STEMS OR SLABS.

EXPECTED PROTECTION OF FINISHES & SYSTEMS

PROVIDE FINAL PROTECTION AND MAINTAIN CONDITIONS THAT ENSURE INSTALLED WORK IS WITHOUT DAMAGE OR **DETERIORATION AT TIME OF SUBSTANTIAL** COMPLETION.

> WHERE CONCRETE SLAB TO BE FINAL FINISH-PROTECT SLAB FROM CHIPS, MARS

ALL SPECIFIED METHOD OF PROTECTIONS CAN BE REPLACED WITH ACCEPTABLE

SEALANT AND DRYWALL DEBRIS, PAINT, OILS AND STAIN. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, INCLUDING, BUT NOT LIMITED TO, TEMPERATURE AND RELATIVE

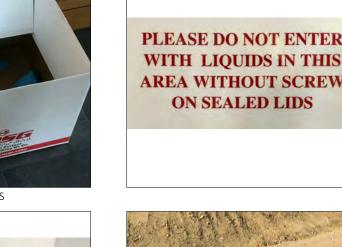
SIMILAR PRODUCT





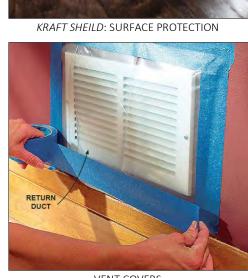














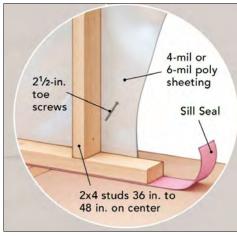












TEMPORARY WALL AREA PROTECTION

















REUSE CARPET FOR SURFACE PROTECTION

- 4 pCi/L = ACTION REQUIRED LEVEL

- 2pCi/L > RADON LEVEL GOAL

FOUNDATION WALL - ALL CONTROL JOINTS. ISOLATION JOINTS & OTHER JOINTS SHOULD BE

- ACCESS DOORS AND OTHER OPENINGS OR PENETRATIONS BETWEEN FLOORS AND ADJOINING
- SHEETING FOR DAMAGE AND REPAIR AS NECESSARY

PLACE A UNIFORM LAYER OF CLEAN AGGREGATE UNDER ALL CONCRETE SLABS OF FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES. USE A MINIMUM 4" THICK LAYER 1/2" TO 3/4" IN SIZE. UNLESS GEOTECHNICAL

- PLACE A 4" TEE FITTING AT THE LOCATION THE RISER WILL EXTEND THROUGH THE SLAB. CONNECT SHORT STUB. AT LEAST 8" OF 4" PVC PIPE VERTICALLY INTO THE TEE. LAY 4" PERFORATED AND CORRUGATED PIPE (MINIMUM LENGTH OF 10 FEET) IN THE GRAVEL AND CONNECT IT TO THE RADON VENT RISER TEE FITTING. AN FIROW FITTING MAY BE USED IN PLACE OF A TEE FITTING WHEN USING ADDITIONAL PIPING IN THE GRAVEL. MAKE SURE THE CONCRETE DOES NOT PLUG UP THE PIPE DURING POUR. PRIOR TO POURING THE SLAB OR PLACING FLOOR ASSEMBLY, LAY A MIN. 6-MIL OR 3-MIL
- FOUNDATION WALL AND SLABS SHOULD BE CONSTRUCTED TO REDUCE POTENTIAL RADON ENTRY ROUTES. IN GENERAL OPENINGS IN WALL AND SLABS SHOULD BE MINIMIZED AND NECESSARY OPENINGS AND JOINTS SHOULD BE SEALED.
- A RADON FAN WILL BE REQUIRED. FAN CANNOT BE INSIDE THE LIVING SPACE OR CRAWLSPACE. FANS ARE MOST OFTEN LOCATED IN ATTICS OR GARAGES (UNLESS THERE IS A LIVING SPACE

FANS REQUIRE AN UNSWITCHED ELECTRICAL JUNCTION BOX.

TRACKOUT CONTROL SYSTEM

- SEAMS BETWEEN KING AND TRIMMER STUDS AT WINDOWS AND DOORS TO BE SEALED WITH

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ARCHITECTURE

PLANNING

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BIG SKY, MONTANA 59716

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MONTANA:

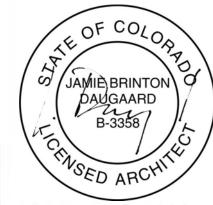
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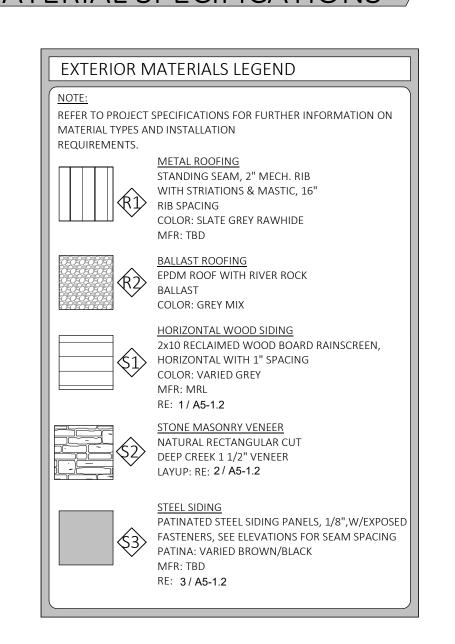
ARC Sketch Review 11/25/2020 100% C.D. REV. #

Drawn By S. D'AGOSTINO Project # 2021.00

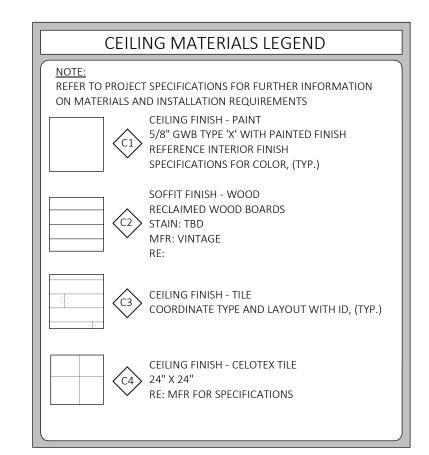
Phase SD

GENERAL NOTES

MATERIAL SPECIFICATIONS



EXTERIOR MATERIAL QUANTITIES								
MATERIAL		EL	EVATION (SF/%)				
	NORTH	EAST	SOUTH	WEST	TOTAL			
STONE	1180/28.9	946/42.1	211/17.4	852/57.8	3,189/ 35.4			
METAL	507/12.4	431/19	494/16.8	90/6.1	1,522/16.9			
WOOD	467/11.4	434/19.3	203/25	371/25.2	1,475/16.4			
FENESTRATION	1929/47.2	441/19.6	302/40.1	161/10.9	2,833/31.4			



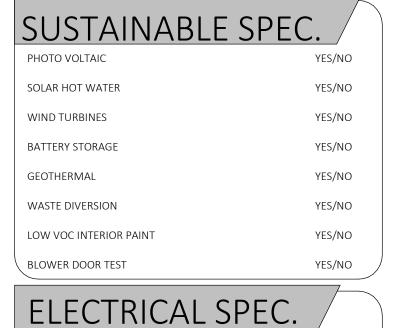
ALL SAMPLES TO BE SUBMITTED TO ARCHITECT NOTE: AFTER S4 METAL SIDING SAMPLE IS SUBMITTED AND APPROVED, RECONFIRM METAL ROOF, FLASHING, GUTTER AND D.S. FINISH W/ ARCH.

MATERIAL BOARD









YES/NO

AUTOMATED LIGHTING SYSTEM

CAR POWER CHARGING STATION

OUTLET STRIP BELOW CABINETS

CARBON MONOXIDE DETECTOR

AUTOMATED WINDOW COVERINGS

OUTLETS IN VANITY DRAWER

BURIED CONDUIT BELOW DRIVEWAY

SOLAR LIGHT AT ADDRESS MONUMENT

TOILET REQUIRED POWER

BIDET

HEAT

HEATED TOWEL RACKS

EXT HEAT LAMPS

BOOT DRYER

HOT TUB

USB PORTS

LIT MIRROR

FLOOR OUTLETS

BATTERY STORAGE

MOTORIZED WINDOWS

OUTLETS ABOVE FIREPLACE MANTELS

CONFIRM EXT ELEC. OUTLET LOCATIONS

MOTION ACTIVATED LIGHTS

CLOSETS

PANTRY

STAIR TREAD LIGHTING

ART LIGHTING

CEILING FANS

GENERATOR

SMOKE DETECTOR

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UTAH: 1960 SIDEWINDER DR., #101 PARK CITY, UTAH 84060 P 435.604.0891

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IRIDE

NOT FOR

CONSTRUCTION



APPLICANCE SPEC. YES/NO GAS ELECTRIC YES/NO NUMBER OF BURNERS YES/NO YES/NO DROP-IN FREESTANDING YES/NO YES/NO GAS ELECTRIC YES/NO **DUAL FUEL** YES/NO NUMBER OF BURNERS YES/NO ADDITIONAL WALL OVEN SINGLE YES/NO YES/NO DOUBLE YES/NO OVEN/MICROWAVE COMBO YES/NO ELECTRIC YES/NO YES/NO YES/NO

MANUFACTURER MICROWAVE OVEN FREESTANDING ABOVE YES/NO BELOW WALL OVEN UNIT YES/NO MANUFACTURER YES/NO MANUFACTURER YES/NO REFRIGERATOR/FREEZER SIDE BY SIDE DOORS YES/NO ONE DOOR WITH FREEZER INT. YES/NO TOP FREEZER YES/NO YES/NO BOTTOM FREEZER YES/NO FREESTANDING YES/NO **BUILT INTO CABINET** FRONT PANEL MANUFACTURER YES/NO BEVERAGE CENTER/DRAWER YES/NO ICE MAKER YES/NO WARMING DRAWER TRASH COMPACTOR YES/NO BAR MINI FRIDGE YES/NO

FREESTANDING YES/NO **BUILT INTO CABINET** YES/NO FRONT PANEL MANUFACTURER YES/NO BAR ICE MAKER YES/NO UNDER COUNTER OVER COUNTER YES/NO FRONT PANEL MANUFACTURER BAR WINE CHILLER YES/NO FREESTANDING YES/NO **BUILT INTO CABINET** YES/NO FRONT PANEL MANUFACTURER

YES/NO OUTDOOR BBQ YES/NO YES/NO CHARCOAL FREESTANDING YES/NO YES/NO BUILT IN SIDE RANGES YES/NO YES/NO MANUFACTURER YES/NO OUTDOOR MINI FRIDGE YES/NO FREESTANDING **BUILT INTO CABINET** YES/NO FRONT PANEL MANUFACTURER

FRONT LOADER CLOTHES WASHER YES/NO MANUFACTURER TOP LOADER CLOTHER WASHER YES/NO MANUFACTURER FRONT LOADER CLOTHES DRYER YES/NO MANUFACTURER TOP LOADER CLOTHES DRYER YES/NO MANUFACTURER

MASTER LAUNDRY STACKED WASHER/DRYER OTHER APPLIANCES

WALL MOUNTED

SELF CLEANING

PLUMBING SPEC. YES/NO

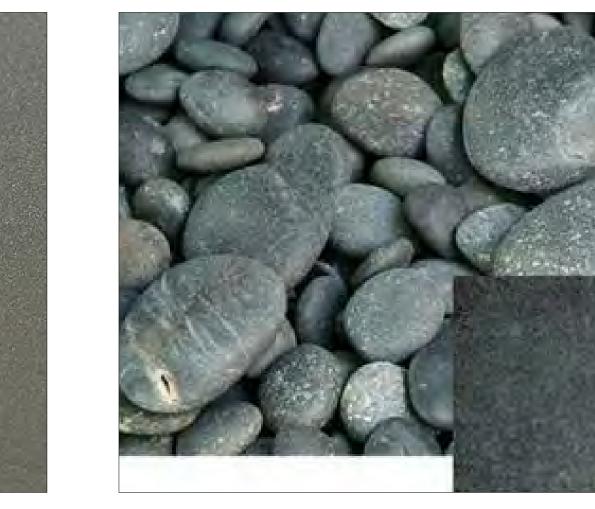
YES/NO

YES/NO YES/NO

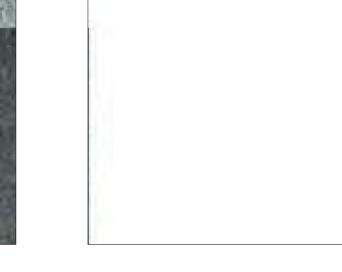
YES/NO

MECH. CHECKLIST/

FURNACE HUMIDIFIER (IF REQ. BY OWNER) CRAWLSPACE EXHAUST FAN PROPANE DETECTION SYSTEM GARAGE EXHAUST FAN BATHROOM EXHAUST FANS RADON EXHAUST FANS (IF REQ. BY RADON TEST) KITCHEN EXHAUST FAN KITCHEN MAKE UP AIR SYSTEM GARAGE UNIT HEATER

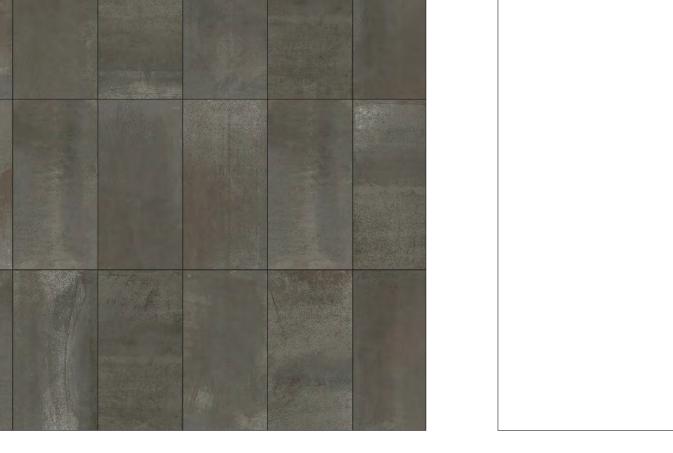














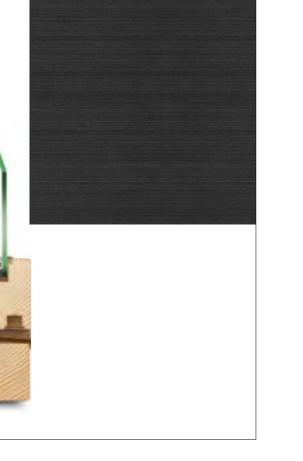




STONE TYPE D EXTERIOR BOULDERS











SCHEDULE								
METAL	APPLICATION	MFR.	SPECIES/TYPE	<u>TEXTURE</u>	COLOR/FINISH	<u>COMMENTS</u>		
TYPE 'A'	FLASHING	BRIDGER STEEL	-	-	PRE-FINISHED	MATCH R1 ROOF FINISH		
TYPE 'B'	EXPOSED STRUCTURAL STEEL	T.B.D.	PER STRUCTURAL	-	PAINTED			
TYPE 'C'	DECORATIVE	T.B.D.	-	T.B.D.	PATINA	GC TO SUBMIT SAMPLES TO MATCH PROVIDED		
TYPE 'D'	WALL PANELING	T.B.D.	-	T.B.D.	PATINA	IMAGES - RAW STEEL W/ PENETROL OR SIM. CO.		
WOOD								
TYPE 'A'	TIMBER BEAMS & POSTS	T.B.D.	NEW DOUGLAS FIR	WIRE BRUSHED	STAINED			
TYPE 'B'	FASCIA	T.B.D.	CEDAR	WIRE BRUSHED	STAINED			
TYPE 'C'	EXTERIOR TRIM	T.B.D.	CEDAR	WIRE BRUSHED	STAINED			
TYPE 'D'	INTERIOR TRIM	T.B.D.	SPRUCE	SMOOTH	T.B.D.			
STONE								
TYPE 'A'	PRIMARY WALL VENEER	QUARRY WORKS	DEEP CREEK	T.B.D.	T.B.D.			
TYPE 'B'	CAP STONE	QUARRY WORKS	DEEP CREEK	T.B.D.	T.B.D.			
TYPE 'C'	EXTERIOR PATIO FLAGSTONE	T.B.D.	T.B.D.	T.B.D.	T.B.D.			
TYPE 'D'	EXTERIOR BOULDERS	QUARRY WORKS	DEEP CREEK	T.B.D.	T.B.D.			

- ALL CUT ENDS, MITERS, & CORNERS TO BE SEALED W/ MFR RECCOMENDED SEALANT/STAIN
- COORD. W/ MFR FOR ADDITIONAL TOUCH UP STAIN COORD. W/ MFR ON TOUCH UP APPLICATIONS AND TREATMENTS

INSULATION SPECIFICATIONS

			INSULATION	ON SCHEDULE - PROJECT SPECIFIC
CAVITY		R - V	ALUE	
		MINIMUM	PROJECT SPECIFIC	
ROOFS OVER HEATED	SPACES	R-49	R-51	8.5" MIN OF SPRAY APPLIED POLYURETHANE INSULATION
EXTERIOR WALLS		R-20	R-24	4" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION
INTERIOR WALLS		-	R-15	RECOMMENDED 4" BLOWN IN CELLULOSE - DAMP SPRAYED OR EQUIVALENT ROCK WOOL BATT INSULATION
FLOORS OVER UNHEA	ATED SPACES	R-30	R-36	6" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION
FLOORS OVER HEATE	D SPACES	-	-	3.5" MINERAL FIBER BATT INSULATION IN FLOORS OVER HEATED SPACES FOR SOUND INSULATION
BASEMENT WALL		R-15/19	R-19	R-19 BATT INSULATION - WHERE STUD BAY EXISTS 3.5"-2" POLYURETHANE TAPER ELSEWHERE
CDAVAL CDACE	LID	R-20	R-24	4" SPRAY POLYURETHANE INSULATION OR EQ.
CRAWL SPACE	WALL	R-15/19	R-21	3.5" SPRAY POLYURETHANE
UNDER CONC. SLAB		R-10/13	R-14	2" OF DOW 'STYROFOAM BRAND SM' INSULATION

ARCHITECT'S RECOMMENDATION FOR ALL EXTERIOR EAVES AND RAKES TO RECEIVE MIN. OF 3" BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 4" SPRAY APPLIED POLYURETHANE INSULATION AT EXTERIOR WALLS WITH AN R-11 MINERAL FIBER BATT OVER TOP OF 2" SPRAY APPLIED POLYURETHANE INSULATION. ARCHITECTS RECOMMENDATION FOR BASEMENT FURRING WALLS TO RECEIVE 3.5" BLOWN IN POLYURETHANE INSULATION IN PLACE OF R-19 BATT. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 2" NCFI SPRAY APPLIED POLYURETHANE INSULATION UNDER CONCRETE SLAB WITH 2" POLY-ISOCYANURATE RIGID FOAM INSULATION.

<u>TBD</u>

CONTEMPORARY PROFILE, CLEAR PINE INTERIOR,

BLACK EXTERIOR

GENERAL CONTRACTOR TO PROVIDE COST COMPARISON FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT INSULATION IN EXTERIOR WALLS AND FLOORS. THERMAL IMAGING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO OWNER AND ARCHITECT AT A MINIMUM, ALL INTERIOR WALLS SEPARATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED. FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS. INSULATION REQUIRED AT ALL HEADERS UNLESS HEADER FILLS CAVITY

AV SYSTEMS

AUTOMATED SHADES -

NETWORK / DATA SYSTEM -

CEILING INTEGRATED -

GARAGE DOOR AUTOMATIC CLOSE TIMER -

WALL INTEGRATED -SURFACE MOUNT -

ENVIRONMENTAL SECURITY WATER -LOW TEMP/FREEZE -WATER COP -HUMIDITY -SECURITY LIFE SAFETY & INTRUSION DOORS -MOTION -SIRENS & STROBE -SPRINKLER -SEPTIC ALARM -ACCESS CONTROL -SECURITY CAMERAS -HOME AUTOMATION -BUILT - IN SPEAKERS -TV/DISPLAYS -GAMING SYSTEM -THEATER/MEDIA RM -EXTERIOR AUDIO/VIDEO LIGHTING CONTROL -

FORCED AIR COOLING -VISIBLE THERMOSTAT -REMOTE THERMOSTAT -SOLAR PANELS -SOLAR HOT WATER -WATER FILTRATION -WATER COP -WATER SOFTENER -REVERSE OSMOSIS -

HVAC SYSTEMS

FORCED AIR HEATING SYSTEM -

HEAT RECOVERY VENTILATION SYSTEM -

RADIANT HEAT -

HUMIDIFIER UNIT -

OXYGEN -BACK UP GENERATOR -BACK UP BATTERY ACTIVE RADON MITIGATION -SNOW MELT-

WATER HEATER DOMESTIC HOT WATER RECIRCULATION PUMP

ENERGY RECOVERY VENTILATOR

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Drawn By S. D'AGOSTINO

Date 11/25/2020

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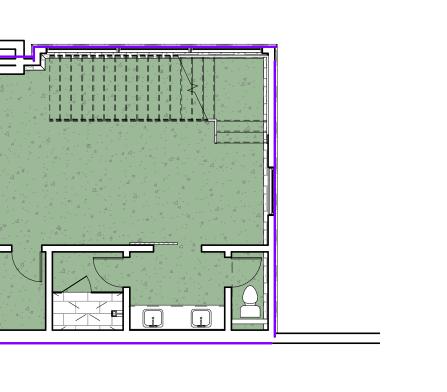
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MATERIAL SPECIFICATIONS

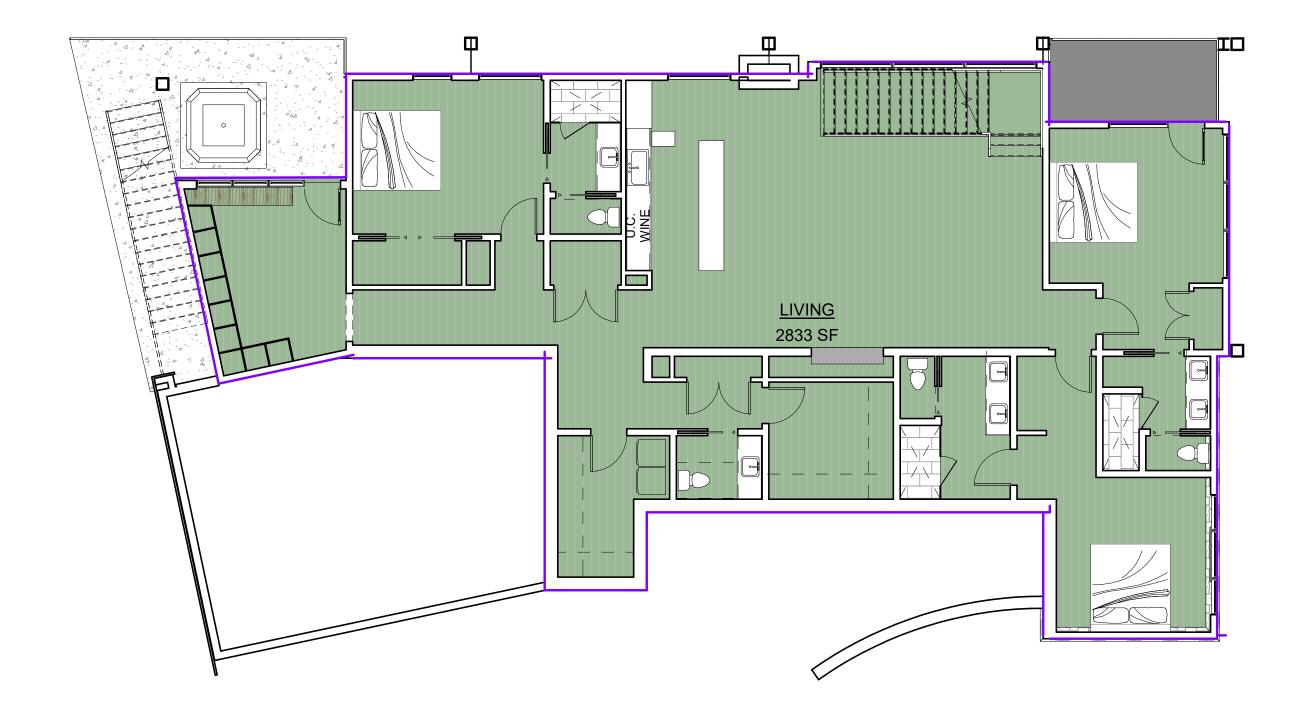
WING 2447 SF GARAGE 659 SF

2 T.O.SUB FLR 1/8" = 1'-0"



<u>LIVING</u> 1045 SF

MECH 369 SF



4 T.O. ROCK BOTTOM

3 T.O. SLAB

AREA ANALYSIS

DEFINITIONS

SQUARE FOOT: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR FACE OF STUD OR FACE OF CONCRETE WALL, INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES); DOES NOT INCLUDE FIREPLACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.

GROSS SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES), MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UNFINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.

NAME	A D E A
INAIVIE	AREA
LIVING	1045 SF
LIVING	2833 SF
LIVING	2447 SF
·	6326 SF
MECH	369 SF
GARAGE	659 SF
	1028 SF
	7353 SF
	LIVING LIVING MECH

PROJECT SQUARE FOOTAGE

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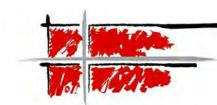
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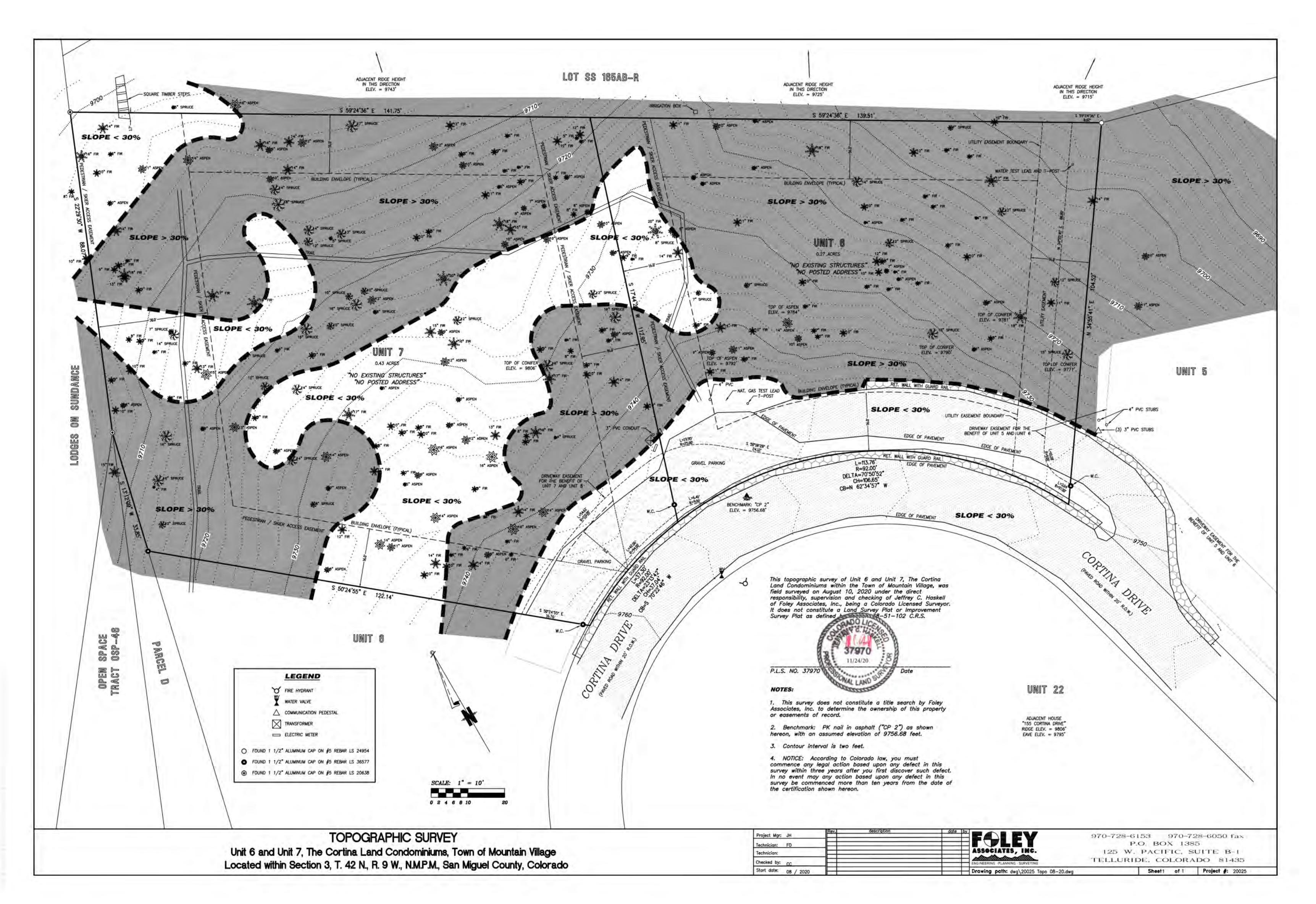
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SURVEY

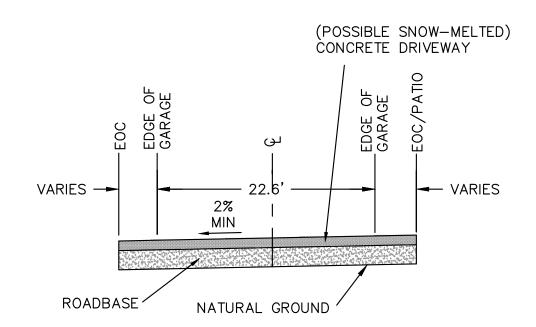


RETAINING WALLY _ FOUNDATION WALL - PROPOSED MINOR 2' CONTOURS (TYP) - PROPOSED MAJOR 10' CONTOURS (TYP) RETAINING WALL MAX HEIGHT=15' AT GRADE PATIO EXISTING MAJOR 10' CONTOURS (TYP) _ EXISTING MINOR 2' CONTOURS (TYP) TRENCH DRAIN (SEE UTILITY PLAN) PARAPET RETAINING WALL (SEE ARCHITECTURAL PLANS) WITH DRAINAGE WEEP HOLES EXISTING TREES (TYF RETAINING WALL _\MAX\HEIGHT=9' WITH\DRAINAGE\ GRAVEL PARKING L PLANTER/ROCK AREA PROPOSED EDGE OF PAVEMENT UNIT 22 UNIT 5 UTILITY EASEMENT BOUNDARY -DRIVEWAY EASEMENT FOR THE _ BENEFIT OF UNIT 5 AND UNIT 6 SCALE: 1" = 10'

PRELIMINARY DRB GRADING PLAN

NOTES

- 1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
- 2. MAXIMUM GRADING 2.5:1. ANY SLOPES GREATER THAN 2.5:1 ARE SHOWN AS THEY HAVE TO CONNECT INTO EXISTING STEEPER SLOPES AND TO BE CONFIRMED BY GEOTCHNICAL ENGINEER PRIOR TO FINAL CONSTRUCTION
- 3. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC. DATED 08/2020 WITH A BENCHMARK BEING PK NAIL IN ASPHALT ('CP 2') WITH ASSUMED ELEVATION OF 9756.68 FEET. CONTACT JEFF HASKELL AT (970) 728-6153 FOR MORE BENCHMARK INFORMATION.
- 4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAPS.
- 5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
- 6. NO DETENTION PROPOSED AS THIS SITE IS PART OF CONDOMINIUM SUBDIVISION AND HAS EXISTING DRAINAGE FACILITIES.



TYPICAL DRIVEWAY SECTION

- DIVIVENAL SECTIO

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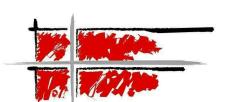
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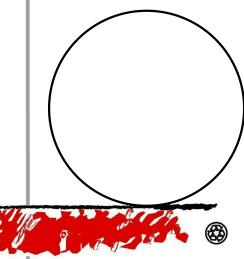




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DRB GRADING

- — — — -9710— — — — — RETAINING WALLS EOUNDATION WALL - Se MAX HEIGHT-15' SEDIMENT CONTROL LOGS (TYP) - PROPOSED MINOR 2' CONTOURS (TYP) - PROPOSED MAJOR 10' CONTOURS (TYP) RETAINING WALL - AT GRADE PATIO EXISTING MAJOR 10' CONTOURS (TYP) EXISTING MINOR 2' CONTOURS (TYP) PARAPET RETAINING WALL - (SEE ARCHITECTURAL PLANS) WITH DRAINAGE WEEP HOLES - SEDIMENT CONTROL LOGS (TYP) EXISTING TREES (TYP RETAINING WALL MAX HEIGHT=9' WITH DRAINAGE WEEP HOLES PROPOSED EDGE OF PAVEMENT ROCK OR COBBLE SETTLING BASIN MAX HEIGHT=4' WITH WEIR ON TOP OF WALL FOR SWALE UNIT 22 UNIT 5 UTILITY EASEMENT BOUNDARY DRIVEWAY EASEMENT FOR THE BENEFIT OF UNIT 5 AND UNIT 6 PRELIMINARY DRB DRAINAGE AND EROSION CONTROL PLAN

NO.

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- 4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAP (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
- 5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
- 6. NO DETENTION PROPOSED AS THIS SITE IS PART OF CONDOMINIUM SUBDIVISION AND HAS EXISTING DRAINAGE FACILITIES.

LEGEND

FLOW DIRECTION

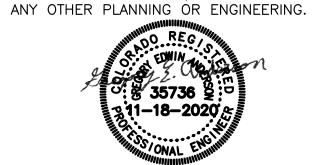
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CENTER OF COLORADO

1-800-922-1987
OR
811

CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

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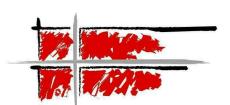


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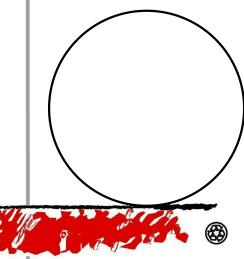




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DRB DRAINAGE

RETAINING WALL/ . FOUNDATION WALL EXISTING IRRIGATION BOX CONNECT TO EXISTING SEWER - TAP WITH 4" PVC SDR 35 @ 2.0% MAX AND 12.0% MIN RETAINING WALL MAX HEIGHT=15' AT GRADE PATIO _ ELECTRICAL SERVICE WITH METER AT HOUSE GAS SERVICE WITH METER AT HOUSE PROPOSED WATER SERVICE TO - CONNECT TO EXISTING TAP ON LOT (SEE NOTE 2) FIRE SERVICE STANDPIPE 4' X 2-1/2" X 2-1/2" _ CONNECTION WITH 8" TRENCH DRAIN WITH OUTLET PIPE TO SWALE FIRE SERVICE -1/2" HOSE VALVE / AND_CAP STANDPIPE 4' X 2-1/2" X 2-1/2" CONNECTION WITH PARAPET RETAINING WALL ─ (SEE ARCHITECTURAL PLANS)
 WITH DRAINAGE WEEP HOLES €2-1/2" HOSE VALVE EXISTING SEWER SERVICE AND TAP (SEE NOTE 3) _ EXISTING TREES (TYP) OUTLET PIPE THROUGH WALL RETAINING WALL _ MAX_HEIGHT=9' DRYWELL AT LOW POINT TO DRAIN FIRE SERVICE LINE WITH DRAINAGE WEEP HOLES EXISTING UTILITY BOXES (CLECTRIC AND CABLE) TO BE LOWERED BY 2'± RIP RẠP SWALE RETAINING WALL MAX HEIGHT=4' WITH WEIR ON TOP OF WALL FOR SWALE EXISTING WATER MAIN IN ROAD WITH SERVICE TAPS TO EACH LOT 4" SCH 40 PVC FIRE SERVICE -(LOCATION TO BE CONFIRMED) PROPOSED EDGE OF PAVEMENT -UNIT 5 UNIT 22 UTILITY EASEMENT BOUNDARY - EXISTING CABLE LINE IN SHARED DRIVEWAY DRIVEWAY EASEMENT FOR THE BENEFIT OF UNIT 5 AND UNIT 6 - EXISTING ELECTRICAL LINE IN SHARED DRIVEWAY - 4"X6" STORZ CONNECTION WITH SIGN "NO FIRETRUCK ACCESS" SCALE: 1" = 10'

PRELIMINARY DRB UTILITY PLAN

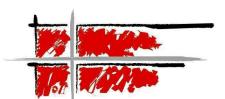
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- 3. ALL UTILITY LOCATES TO BE PERFORMED PRIOR TO FINAL DESIGN. IT IS RECOMMEND THAT THE SEWER TAP IS POT HOLED PRIOR TO FINAL DESIGN IN ORDER TO DETERMINE IF THE SEWER REQUIRES A PUMP IN THE MECHANICAL ROOM

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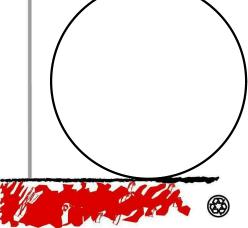




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DRB UTILITY

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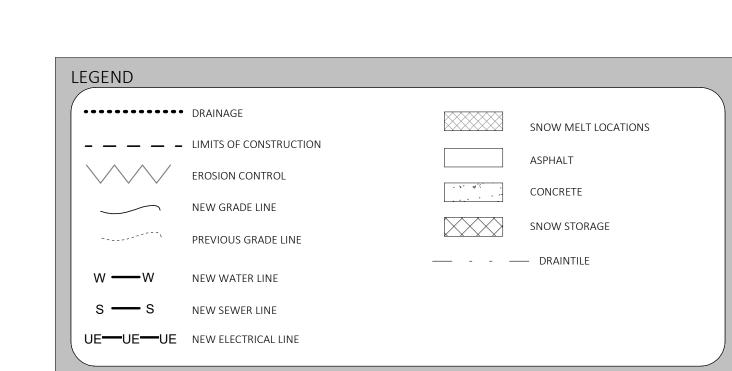


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STRUCTURAL ELEVATIONS T.O. SLAB @ ROCK BOTTOM 78'-0" = 9723' T.O SLAB @ LOWER LEVEL 89'-0" = 9734' 99'-8" = 9744'-8" T.O SLAB @ GARAGE T.O SUBFLOOR @ MAIN LEVEL 100'-0" = 9745'

GENERAL NOTES

- SEE CIVIL PLANS FOR GRADING & ADDITIONAL SITE DETAILS ALL PERIMETER FOUNDATION DRAINS TO EXIT TO DAYLIGHT
- ALL CONCRETE WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS
- STRICTLY PROHIBITED. EXCESS SOIL FROM CONSTRUCTION TO BE RELOCATED ON SITE W/ GEOTECHNICAL ENGINEER APPROVAL.
- ANY DAMAGE TO THE EXISTING ROADWAY, INCLUDING THE AC SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, AND EXISTING VEGETATION AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR

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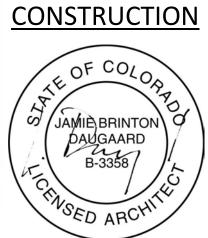


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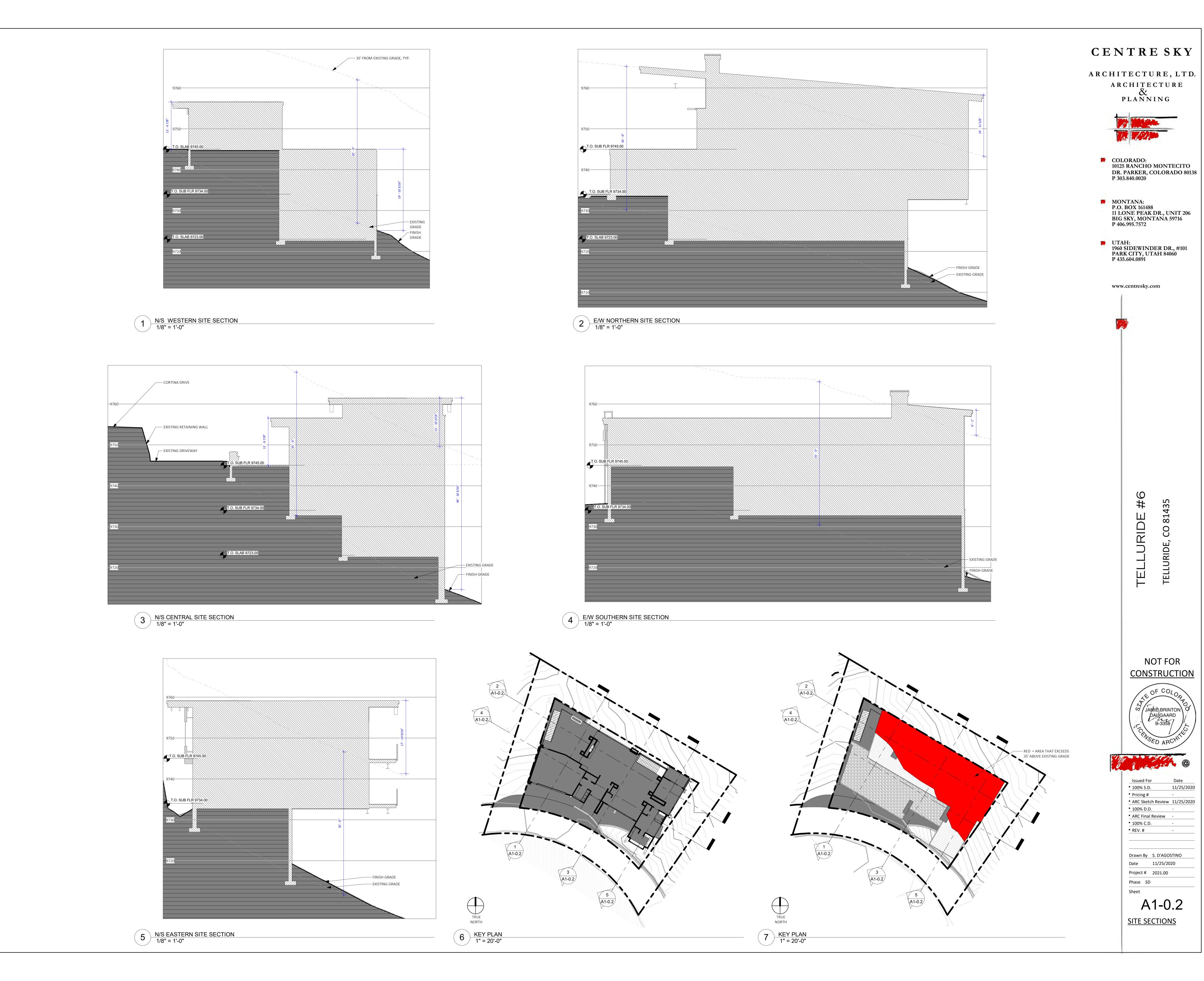
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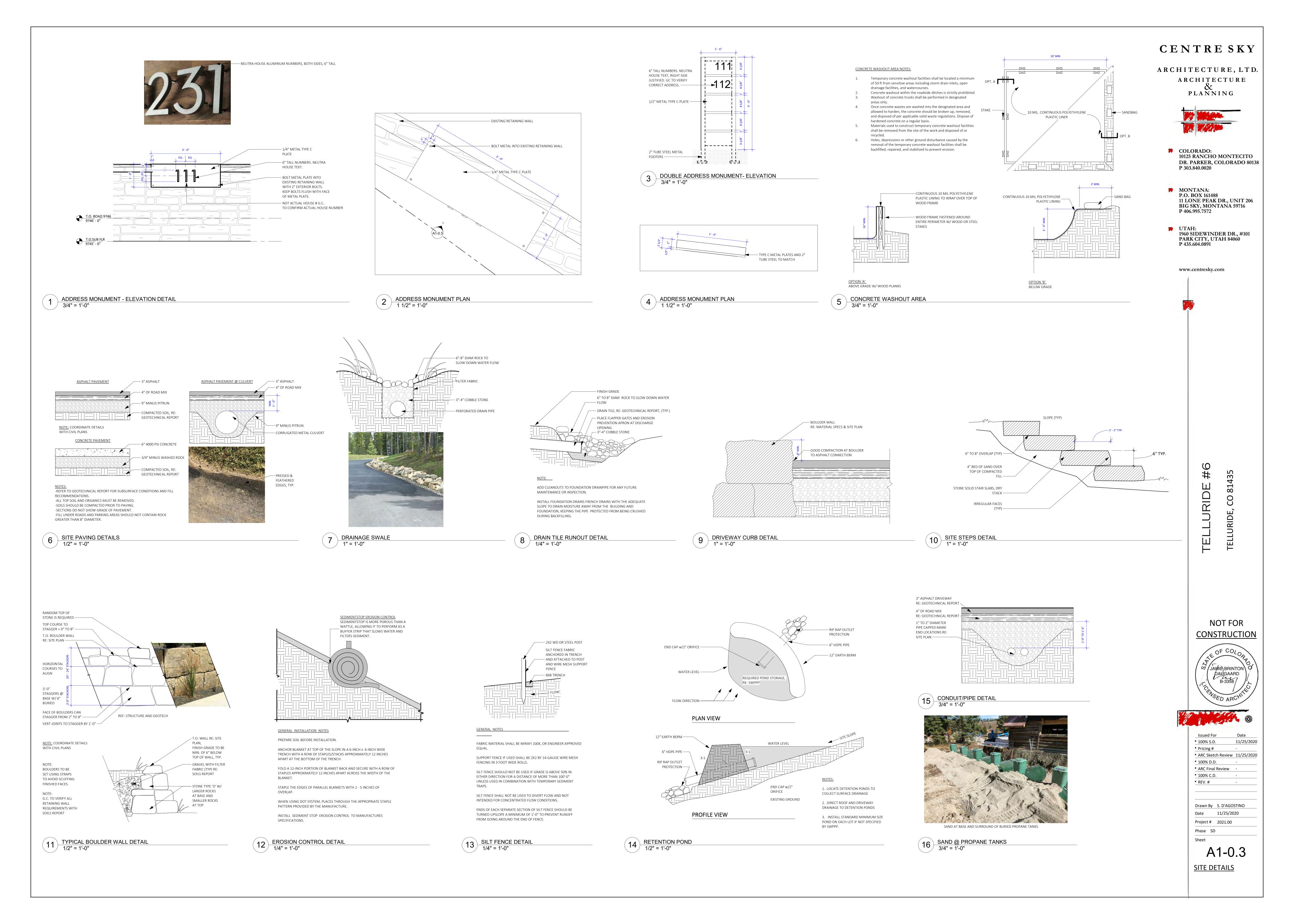
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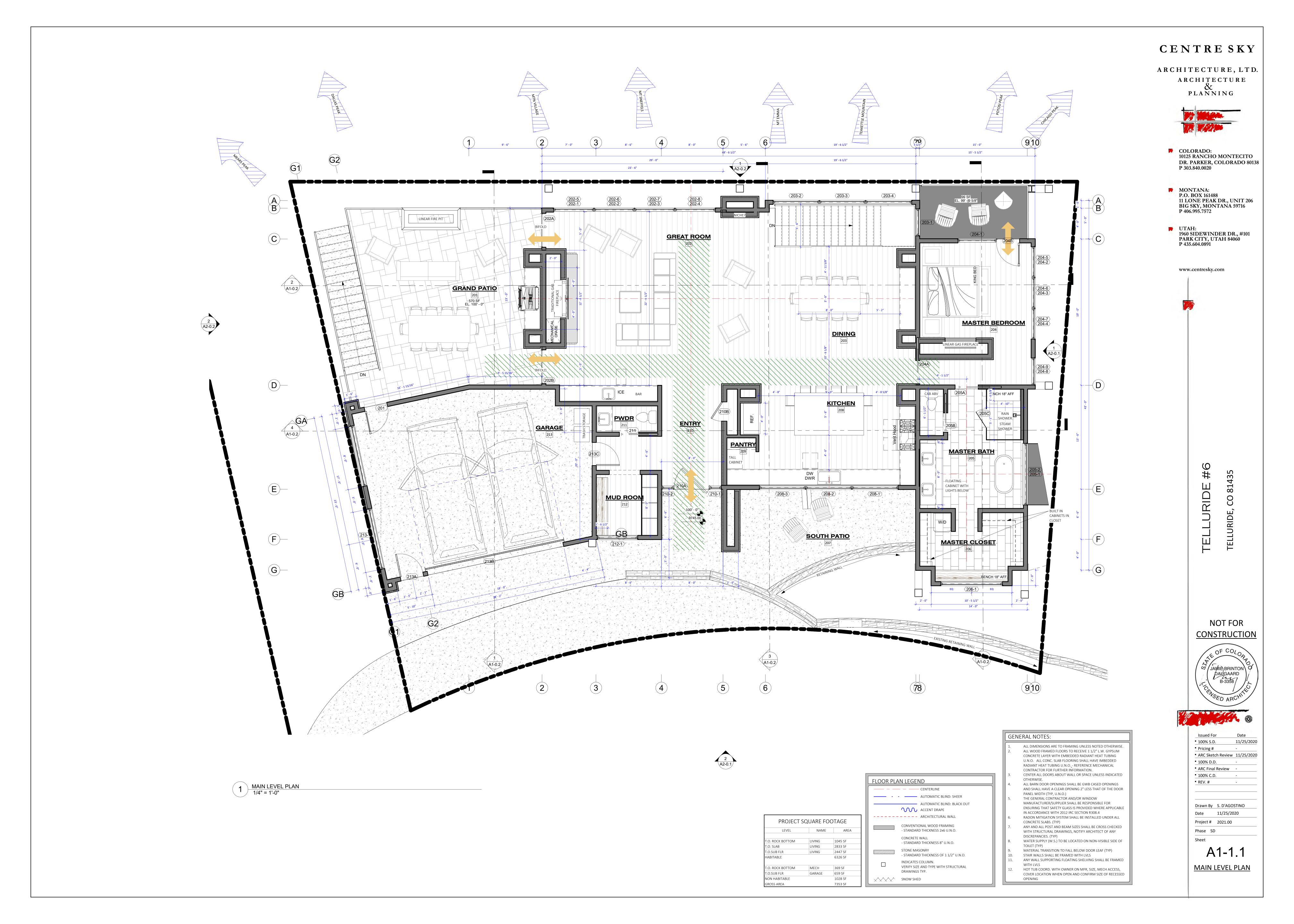
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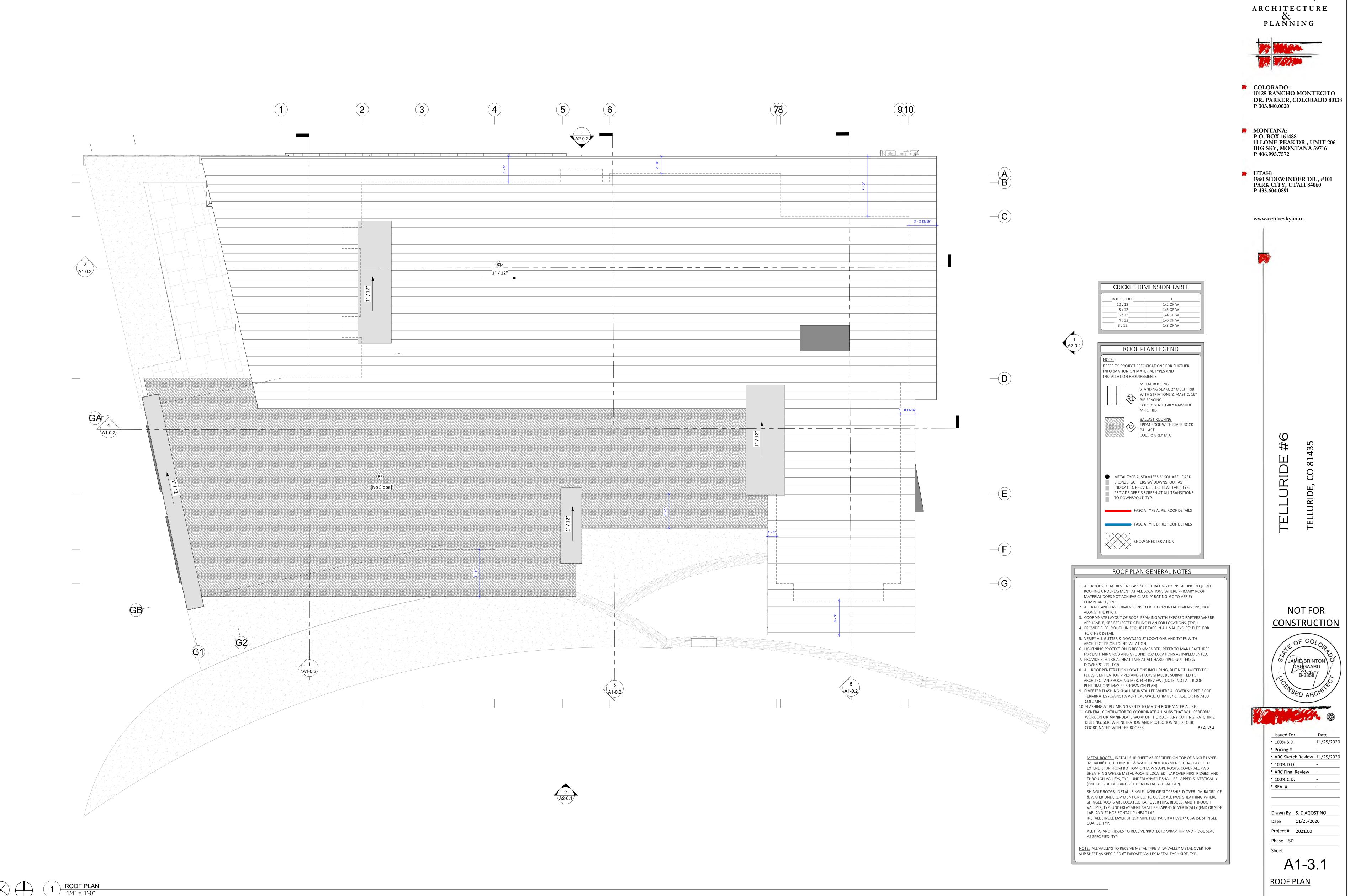
ARCHITECTURAL SITE PLAN





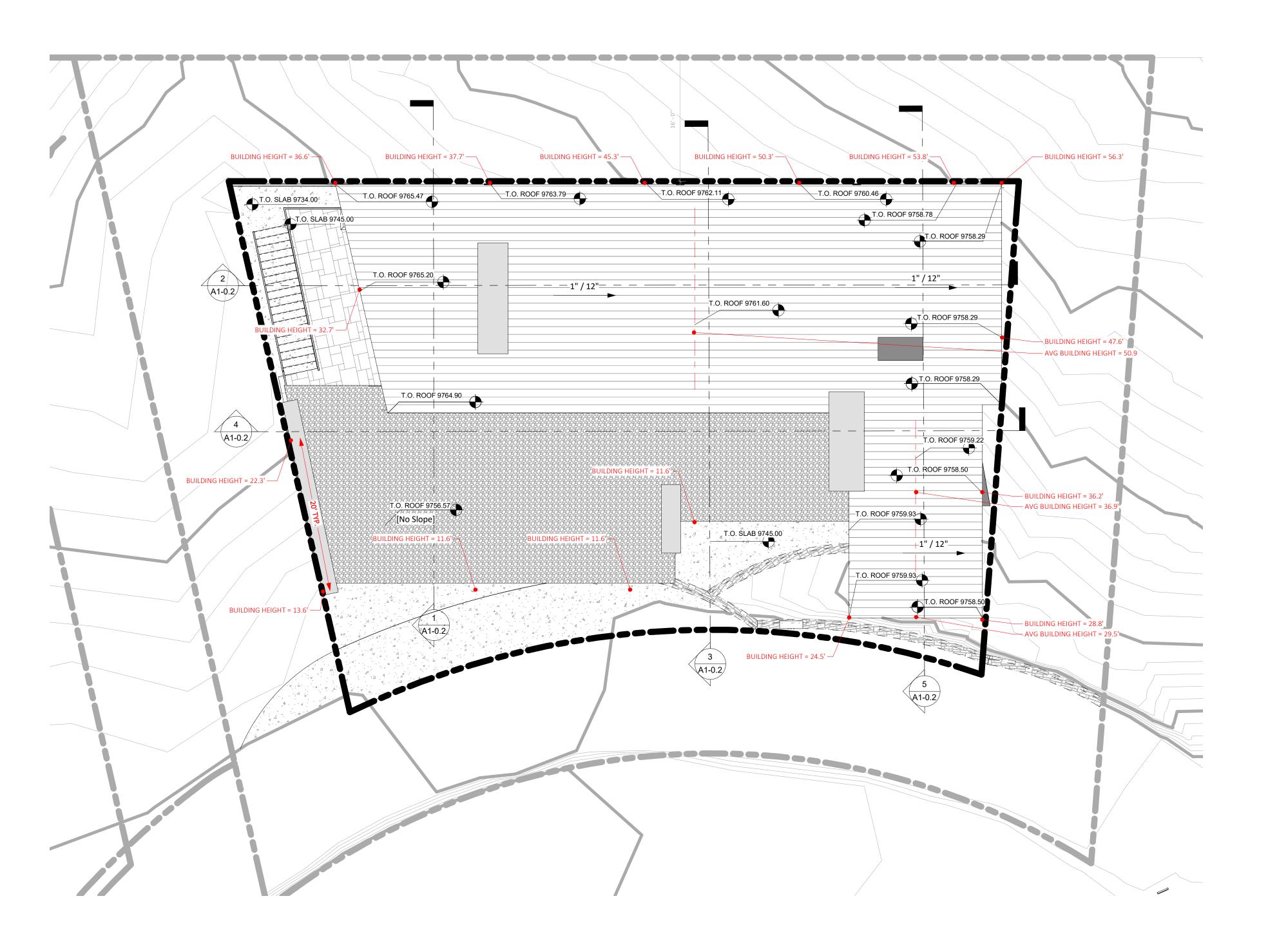


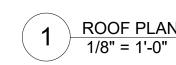


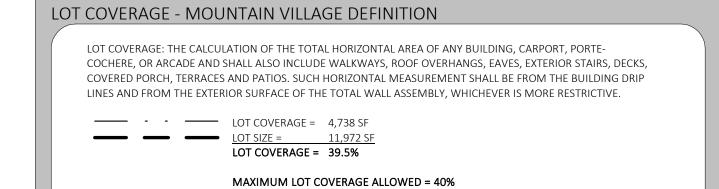


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AVERAGE ROOF HEIGHT - MOUNTAIN VILLAGE DEFINITION

MAXIMUM AVERAGE HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO A POINT ON THE ROOF PLANE MIDWAY BETWEEN THE EAVE & THE RIDGE. ON COMPLEX BUILDINGS WITH MULTIPLE HEIGHTS AND/OR BUILDINGS WITH MULTIPLE HEIGHTS ON SLOPING SITES, THE MAXIMUM AVERAGE HEIGHT SHALL BE DETERMINED BY TAKING THE AVERAGE OF HEIGHTS AT EQUAL INTERVALS AROUND THE PERIMETER OF A BUILDING. THOSE INTERVALS SHALL BE NO MORE THAN 20 FEET. AVERAGE BUILDING HEIGHTS AT 20' MAX INTERVALS:

13.6 + 22.3 + 32.7 + 36.6 + 37.7 + 45.3 + 50.3 + 53.8 + 56.3 + 50.9 + 36.9 + 29.5 + 24.5 + 11.6 + 11.6 + 11.6 = 525.2 / 16 = 32.8

AVERAGE BUILDING HEIGHT = 32.8'

MAX BUILDING HEIGHT - MOUNTAIN VILLAGE DEFINITION

BUILDING HEIGHT SHALL BE MEASURED VERTICALLY AT A RIGHT ANGLE TO THE HORIZON LINE FROM ANY POINT ON A PROPOSED OR EXISTING ROOF OR EAVE (INCLUDING BUT NOT LIMITED TO THE ROOFING MEMBRANE) TO THE NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, LOCATED DIRECTLY BELOW SAID POINT OF THE ROOF OR EAVES.

MAX BUILDING HEIGHT = 56.33' (VARIANCE REQUESTED)

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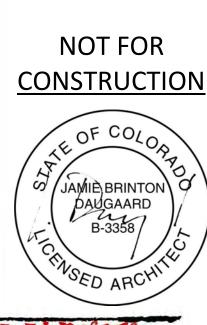
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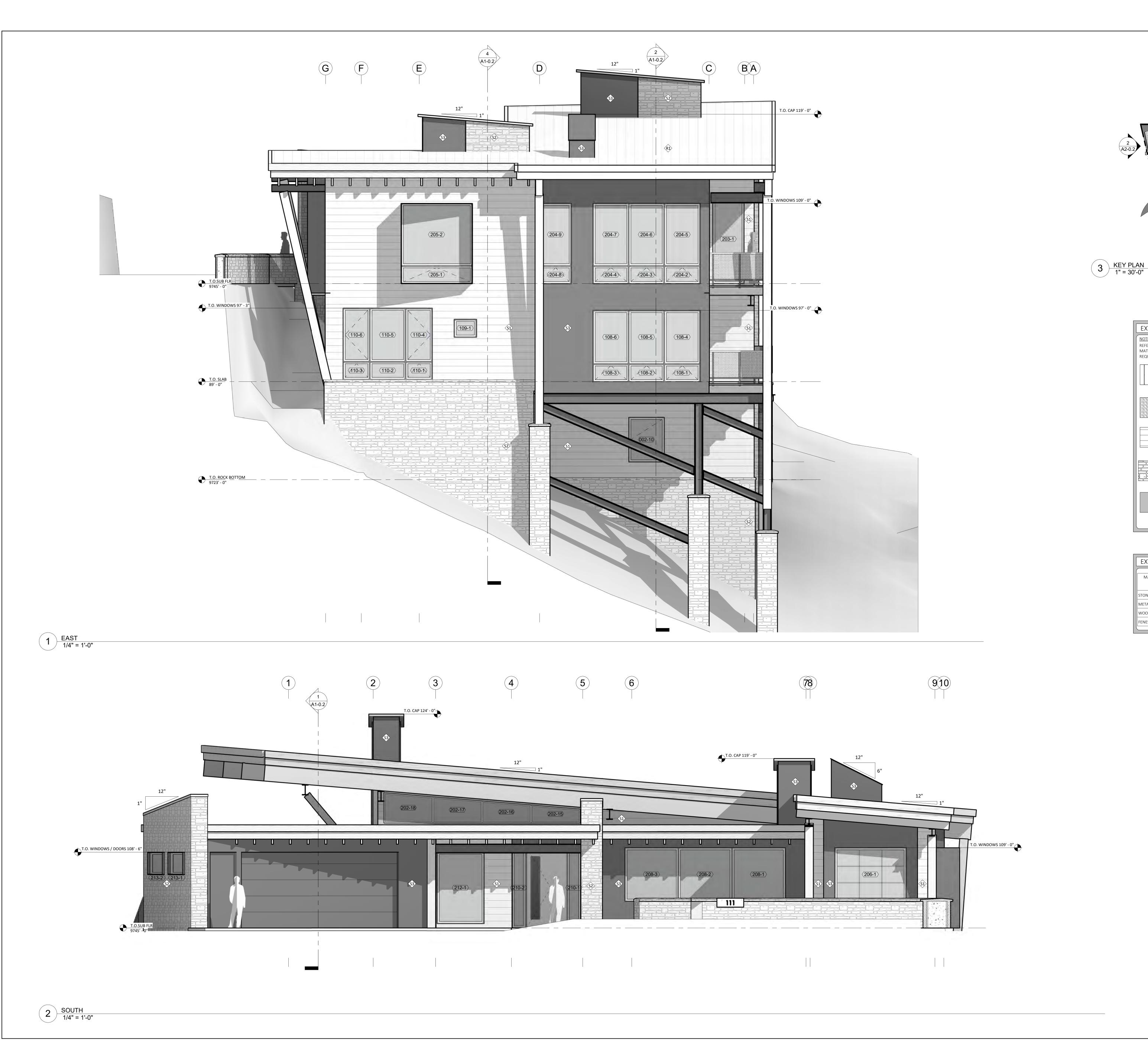
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ROOF PLAN & TOPO <u>SURVEY</u>



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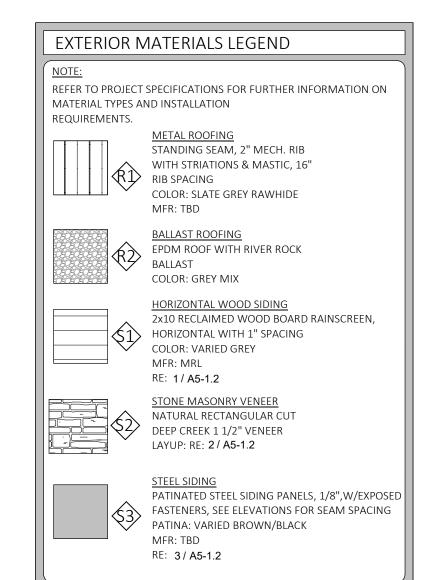
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MATERIAL		El	EVATION (SF/%)	
	NORTH	EAST	SOUTH	WEST	тоти
STONE	1180/28.9	946/42.1	211/17.4	852/57.8	3,189/
METAL	507/12.4	431/19	494/16.8	90/6.1	1,522/
WOOD	467/11.4	434/19.3	203/25	371/25.2	1,475/
FENESTRATION	1929/47.2	441/19.6	302/40.1	161/10.9	2,833/

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OF COLOR

JAMIE BRINTON
DAUGAARD
B-3358

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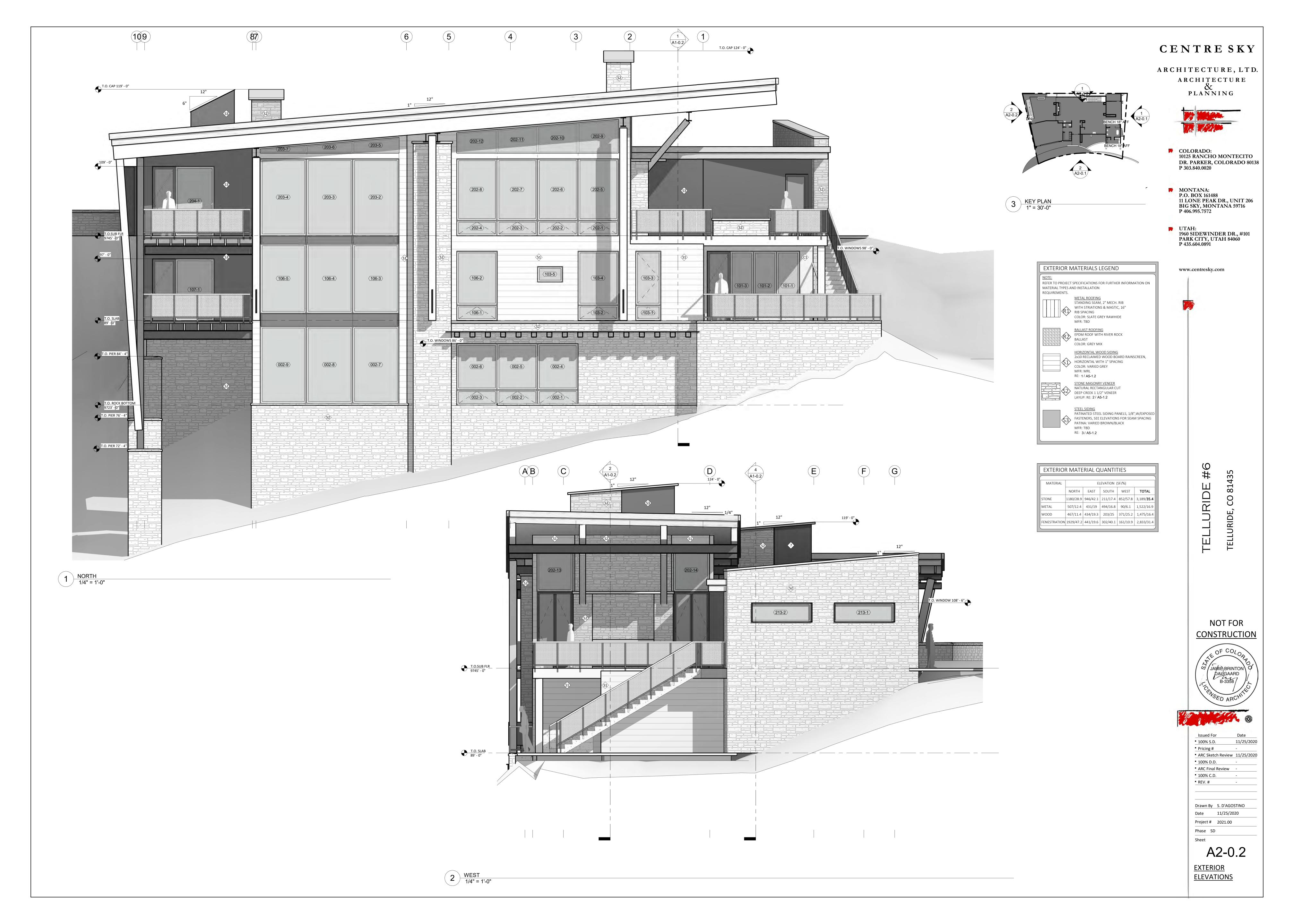
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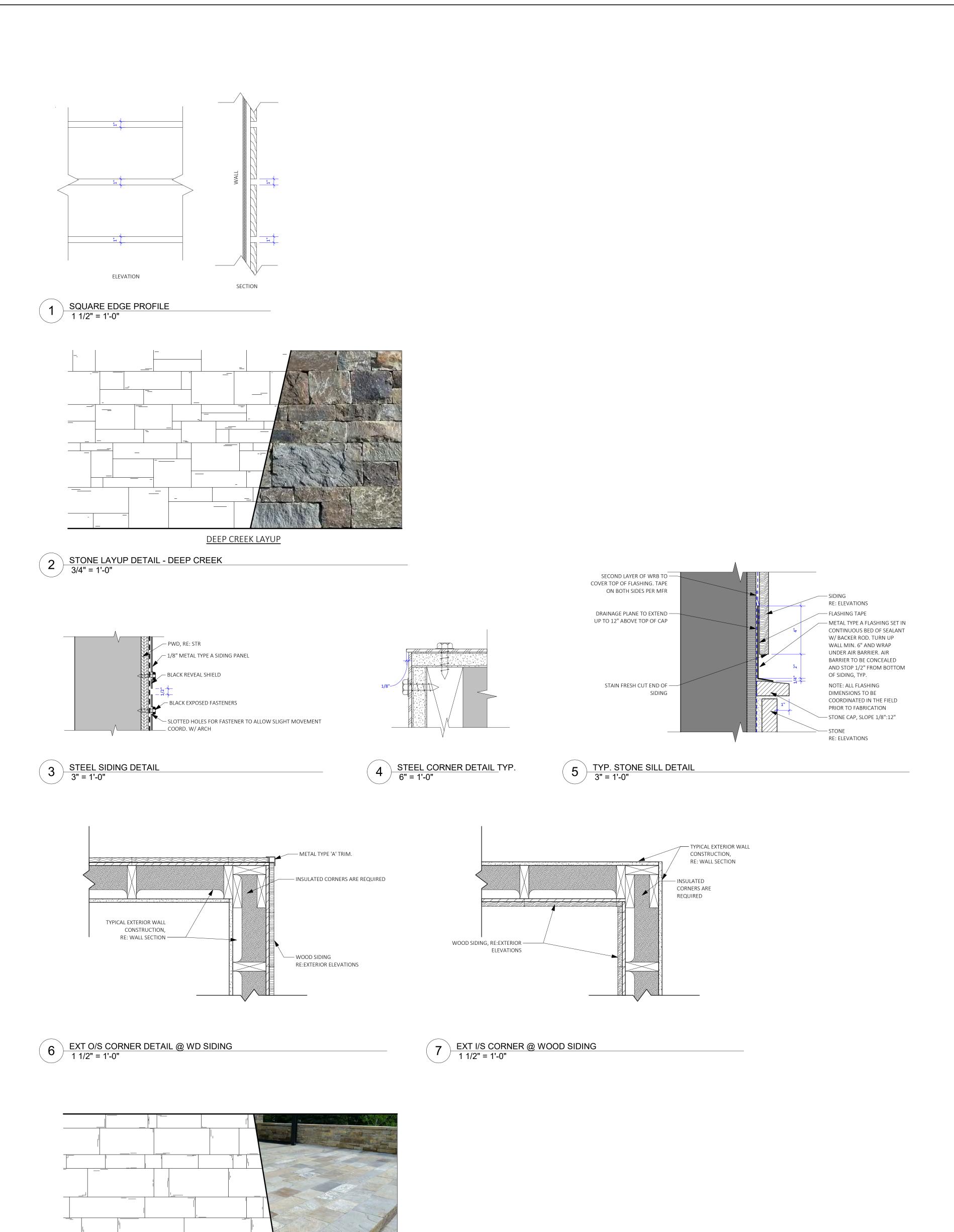
Project # 2021.00

Phase SD

A2-0.1

EXTERIOR ELEVATIONS





FRONTIER PAVER PATIO LAYUP

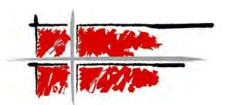
8 PATIO LAYUP - FRONTIER
3/4" = 1'-0"

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Date 11/25/2020

Drawn By S. D'AGOSTI

Date 11/25/2020

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Phase SD

Sheet

A5-1.2

EXTERIOR DETAILS

				\A/INIF			WINDOW SCHEDULE	TDIAA	DETAIL C	HADDY	A/ADE		
MINDOM	SIZ	7°C		WINE			FRAME DETAIL	#	DETAILS I TYPE	HARDV	VAKE		REMARKS
VINDOW #	WIDTH	EL	LEVATION OPERATION	MFR	PROFILE	FINISH	/A6-1.3 EXTERIOR HEAD JAMB SIL		EXTERIOR	SET	FINISH	GLASS TYPE	NEIVIANNS
								L INTERIOR	EXTERIOR			IG Low E II with Argon	
002-1	5' - 3" 5' - 3"	2' - 0"	AWNING AWNING			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
002-3	5' - 3"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon	
002-4	5' - 3"	6' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
002-5	5' - 3"	6' - 0"	FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
002-7	6' - 0"	10' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
002-8	6' - 0"	10' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
002-9	6' - 0" 4' - 0"	10' - 0" 5' - 0"	FIXED CASEMENT			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
101-1	3' - 0"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
101-1	3' - 0"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
101-3	3' - 0"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
103-1	3' - 3" 5' - 3"	2' - 0"	AWNING AWNING			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon IG Low E II with Argon	
103-2	3' - 3"	7' - 0"	CASEMENT			CLEAR PINE CLEAR PINE	BLACK					IG Low E II with Argon	
103-4	5' - 3"	7' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
103-5	3' - 3"	2' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
106-1	5' - 3" 5' - 3"	2' - 0"	AWNING FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
106-3	6' - 0"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
106-4	6' - 0"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
106-5	6' - 0" 5' - 0"	9' - 0"	FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
108-1	4' - 0"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon	
108-2	4' - 0"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
108-3	4' - 0" 4' - 0"	2' - 0"	AWNING FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
108-5	4' - 0"	6' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
108-6	4' - 0"	6' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
109-1	2' - 6"	2' - 0"	FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
110-2	4' - 0"	2' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
110-3	3' - 0"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
110-4	3' - 0" 4' - 0"	6' - 0"	CASEMENT FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
110-6	3' - 0"	6' - 0"	CASEMENT			CLEAR PINE	BLACK					IG Low E II with Argon	
202-1	5' - 3"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon	
202-2	5' - 3"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon	
202-3	5' - 3" 5' - 3"	2' - 0"	AWNING AWNING			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon IG Low E II with Argon	
202-5	5' - 3"	8' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
202-6	5' - 3"	8' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
202-7	5' - 3"	8' - 0" 8' - 0"	FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon IG Low E II with Argon	
202-9		4' - 4 1/4"	FIXED TRAP.			CLEAR PINE	BLACK					IG Low E II with Argon	
202-10		3' - 10 3/4"	FIXED TRAP.			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
202-11		3' - 5 1/2"	FIXED TRAP. FIXED TRAP.			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
202-13	4' - 8"	5' - 6"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
202-14	4' - 8"	5' - 6"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
202-15	5' - 6" 5' - 6"	2' - 0"	FIXED TRAP.			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
202-17	5' - 6"	2' - 11"	FIXED TRAP.			CLEAR PINE	BLACK					IG Low E II with Argon	
202-18		3' - 4 1/2"	FIXED TRAP.			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
203-1	3' - 6" 6' - 0"	10' - 0"	FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
203-3	6' - 0"	10' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
203-4	6' - 0"	10' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
203-5	6' - 0" 6' - 0"	2' - 0"	FIXED TRAP.			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
203-7	6' - 0"	0' - 6"	FIXED TRAP.			CLEAR PINE	BLACK					IG Low E II with Argon	
204-1	5' - 0"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
204-2	4' - 0" 4' - 0"	2' - 0"	AWNING AWNING			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
204-4	4' - 0"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon	
204-5	4' - 0"	7' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
204-6	4' - 0" 4' - 0"	7' - 0"	FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
204-8	3' - 6"	2' - 0"	AWNING			CLEAR PINE	BLACK					IG Low E II with Argon	
204-9	3' - 6" 8' - 0"	7' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon IG Low E II with Argon	
205-1	8' - 0" 8' - 0"	2' - 0"	AWNING FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon	
206-1	8' - 0"	6' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
208-1	6' - 0"	6' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
208-2	6' - 0" 6' - 0"	6' - 0"	FIXED			CLEAR PINE CLEAR PINE	BLACK BLACK					IG Low E II with Argon IG Low E II with Argon	
210-1	1' - 6"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
_	1' - 6"	9' - 0"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
210-2		01 011	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	
210-2 212-1 213-1	5' - 3" 8' - 0"	8' - 0" 2' - 6"	FIXED			CLEAR PINE	BLACK					IG Low E II with Argon	



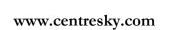
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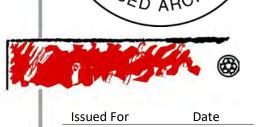




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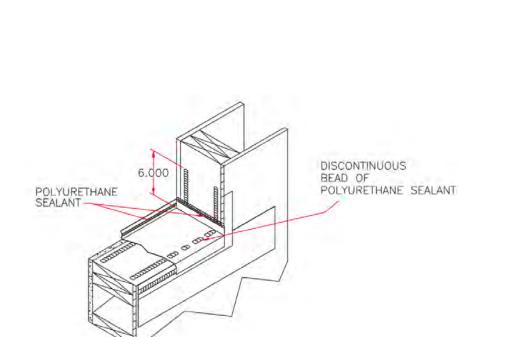
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 11/25/2020

 Project #
 2021.00

Phase SD Sheet

A6-1.2 <u>WINDOW</u>

<u>SCHEDULE</u>



METAL TYPE A FLASHING W/ — BACKER ROD AND SEALANT, TYP.

> ADHESIVE FLASHING, WRAP — OVER AIR BARRIER, TYP.

> AIR BARRIER AS SPECIFIED, —

STONE SIDING — RE: ELEVATIONS

SHIM AS REQUIRED —

ICE & WATER SHEILD, WRAP —
AROUND ALL ROUGH
OPENINGS, TYP.
INTERIOR WD TRIM. TYP. —

WRAP OVER METAL FLASHING, TYP.

INTEGRAL NAILING FIN

— STEEL SHROUD

— WINDOW UNIT

AS SPECIFIED

WINDOW GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR DIRECTION OF OPERABLE WINDOW SWING.
 REFER TO PLANS & EXTERIOR ELEVATIONS FOR EGRESS WINDOW LOCATIONS
 WINDOW MANUFACTURER TO VERIFY THAT ALL EGRESS WINDOWS MEET EGRESS REQUIREMENTS IN
- ACCORDANCE TP 2012 IRC AND ADVISE ARCHITECT OF ANY CONFLICTS
 REFERENCE WINDOW SCHEDULE FOR ALL MULLED UNITS
 REFERENCE WINDOW ELEVATIONS FOR ALL TRAPAZOID UNITS
 WINDOW SUPPLIER TO PROVIDE FINAL SHOP DRAWINGS AND LIST TO ARCHITECT FOR REVIEW PRIOR TO
- PLACING ORDER.
 ALL WINDOW ELEVATIONS ARE EXTERIOR ELEVATIONS
 GENERAL CONTRACTOR TO INSPECT ALL GLASS AND FRAMES FOR DEFECTS PRIOR TO INSTALL.
 REFER TO FINISH SCHEDULE FOR SPECIFIC STAIN & PAINT FINISHES



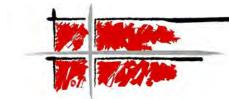
				2002			DOOR SCH	HEDULE			TD14				_	
				DOOR					FRAME DETAIL		TRIM			HARDWAR		
DOOR#	SIZE			ELEVATION SWING	MATERIAL	MFR	FINISH		#/A6-2.2		TYPE		FUNCT	STYLE	FINISH	REMARKS
	W	Н	Т	TYPE	TVII (TEXII) (E				HEA DER	JAMB SILL	EXT.	INT.	ION	N 322		
001A	3' - 0"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
002A	2' - 6"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
003A	4' - 0"	8' - 0"	0' - 1 3/4"	BARN				INT								
003B	2' - 6"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
003C	2' - 6"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
003D	2' - 6"	8' - 0"	0' - 0 3/8"	RE: PLAN				INT								
004A	2' - 6"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
101A	3' - 0"	9' - 0"	0' - 2 1/4"	RE: PLAN				EXT								
103A	3' - 0"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
103B	3' - 6"	8' - 0"	0' - 1 3/8"	POCKET				INT								
104A	2' - 6"	8' - 0"	0' - 1 3/8"	POCKET				INT								
104B	2' - 6"	7' - 0"	0' - 0 3/8"	RE: PLAN				INT								
104C	2' - 6"	8' - 0"	0' - 1 3/8"	POCKET				INT								
105A	5' - 4"	8' - 0"	0' - 2"	DOUBLE				INT								
107A	3' - 0"	8' - 0"	0' - 2 1/4"	RE: PLAN				EXT								
108A	3' - 0"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
108B	4' - 0"	8' - 0"	0' - 2"	DOUBLE				INT								
109A	2' - 6"	8' - 0"	0' - 1 3/8"	POCKET				INT								
109B	2' - 6"	7' - 0"	0' - 0 3/8"	RE: PLAN				INT								
109C	2' - 6"	8' - 0"	0' - 1 3/8"	POCKET				INT								
110A	3' - 0"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
111A	3' - 0" 2' - 6"	8' - 0" 7' - 0"	0' - 1 3/4"	RE: PLAN				INT								
111B 111C	2' - 6"	8' - 0"	0' - 13/8"	RE: PLAN POCKET				INT								
112A	3' - 0"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
113A	5' - 4"	8' - 0"	0' - 2"	DOUBLE				INT								
114A	2' - 6"	8' - 0"	0' - 1 3/8"	POCKET				INT								
115A	3' - 0"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
201	3' - 0"	8' - 0"	0' - 2 1/4"	RE: PLAN				EXT								
202A	4' - 3 5/8"	9' - 10 7/8"	0' - 2 1/4"	BI-FOLD				EXT								
202B	4' - 3 5/8"	9' - 10 7/8"	0' - 2 1/4"	BI-FOLD				EXT								
204A	3' - 0"	8' - 0"	0' - 1 3/8"	POCKET				INT								
204B	3' - 0"	9' - 0"	0' - 2 1/4"	RE: PLAN				EXT								
205A	3' - 0"	8' - 0"	0' - 1 3/8"	POCKET				INT								
205B	2' - 6"	8' - 0"	0' - 1 3/8"	POCKET				INT								
205C	2' - 6"	8' - 0"	0' - 0 3/8"	RE: PLAN				INT EXT								
210A	4' - 6"	9' - 0"	0' - 2 1/4"	PIVOT				INT								
210B	2' - 6"	8' - 0"	0' - 1 3/4"	RE: PLAN				INT								
211	2' - 6"	8' - 0"	0' - 1 3/8"	POCKET				EXT								
213A	3' - 0"	8' - 6"	0' - 1 3/4"	RE: PLAN				EXT								
213B	18' - 0"	8' - 6"	0' - 1 3/4"	GARAGE				INT								
213C nd total: 42	3' - 0"	8' - 0"	0' - 1 3/4"	RE: PLAN												

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Drawn By S. D'AGOSTINO

Date 11/25/2020

Project # 2021.00

Phase SD

Sheet A6-2

DOOR ELEVATIONS

& SCHEDULE



DOOR SCHEDULE NOTES:

BY 'ENDURA'

ALL BARN DOOR SLABS TO BE 2" WIDER THAN FINISHED OPENING

ALL WD DOORS SHALL BE ENGINEERED LAMINATED DOORS U.N.O. GC TO COORDINATE JAMB WIDTHS ACCORDING TO VARYING WALL

A. GC TO COORDINATE JAMB WIDTHS WITH INTERIOR SHEAR WALL LOCATIONS (IF APPLICABLE) - SEE STR FOR SHEAR

VERIFY PRIVACY LOCKS ON BEDROOMS AND BATHROOMS W/OWNER

FOR ALL DOORS AT STRIKE PLATE LOCATION, PAINT EXPOSED JAMB AND ANY EXPOSED FRAMING BEHIND STRIKE PLATE BLACK, TYP.
RECESSED AREAS ON EXTERIOR DOORS TO HAVE BEVELED EDGES SLOT ON HEAD OF SCREWS TO ALIGN VERTICALLY ON DOOR

ALL EXTERIOR DOORS TO RECEIVE APPROPRIATE WEATHER STRIPPING
NEOPRENE DOOR SHIMS SHALL BE USED SIMILAR TO THE PRODUCT

DOOR CORNER SEALS TO BE INSTALLED ON ALL EXTERIOR HINGED

WEDGES ON ALL HINGED EXTERIOR DOORS ON STRIKE SIDE ALL EXTERIOR HINGED OR PIVOT DOORS TO RECIEVE CORNER SEALS

PROVIDE TRACKS AT BOTTOM OF ALL BARN DOORS

WALL LOCATIONS

VERIFY FINISHES WITH ARCH/OWNER AND ID

DOORS, COLOR TO MATCH WEATHERSTRIPPING ALL GARAGE DOORS TO HAVE AUTOMATIC CLOSE

WIDTH, SEE FLOOR PLAN FOR WALL TYPES AND WIDTHS

VERIFY ALL DOOR SWINGS WITH OWNER/ARCH PRIOR TO

M-D BUILDING PRODUCTS FOAM VINYL CORNER WEATHERSEALS FOR DOORS 1-3/4IN X 0.13IN COLOR ALWAYS BLACK

1 TYP. CORNER WEATHERSEALS HINGED DOORS
1 1/2" = 1'-0"